

**DECLARATION OF COVENANTS AND RESTRICTIONS OF
THE FALL CREEK PLACE DEVELOPMENT**

This DECLARATION (hereinafter referred to as "the Declaration" or "this Declaration"), made this 19th day of January, 2002, by the Consolidated City of Indianapolis, Indiana by and through its Department of Metropolitan Development, on behalf of the Metropolitan Development Commission of Marion County, acting in its capacity as the Redevelopment Commission of Marion County (hereinafter referred to as "Declarant");

WITNESSETH:

WHEREAS, Declarant is the Owner of the real estate in Marion County, State of Indiana, which is more particularly described in Exhibit "A" attached hereto and hereby incorporated herein by reference (hereinafter referred to as the "Real Estate");

WHEREAS, the Real Estate is part of a development previously platted as (Center Township Assessor's Plat Map 75-13) Douglas Park PB 10 P26, (CTA PM 75-12) Martindale's "Lincoln Park" Add. PB 10 P 4, (CTA PM 75-11) Martindale's "Lincoln Park" Add. 2nd Section PB 9 P 116, (CTA PM 75-10) Martindale's "Lincoln Park" Add. PB 8 P189 & PB 9 P116, (CTA PM 75-14) Martindale's Lincoln Park PB 10 P74, (CTA PM 75-15) Martindales Lincoln Park PB 9 P 160, (CTA PM 75-15) Wm. E. Stevenson's Peck Sub. PB13 P17, (CTA PM 75-16) Martindale's Lincoln Park Pt. 1st SECTION PB 8 P189 & COR PB 9 P 116, (CTA PM 75-28) Pt. Bruce Place PB 6 P 122, (CTA PM 75-29) J.A. & M. Bruce's Add. PB 11 P 11, (CTA PM 75-30) W. Wright's TR's Park Ave. Add. PB 9 P133, Hadley & Hamilton's Sub. PB 10 P 139, Hadley's Sub. PB 12 P151 and Minerva Hittle's Sub. PB 16 P113 in the Office of the Recorder of Marion County, Indiana;

WHEREAS, the Real Estate owned by Declarant is presently comprised of Three-Hundred and Forty-Eight (348) Lots upon which improvements permitted hereunder exist or may be constructed or altered;

WHEREAS, Declarant intends to acquire additional Lots within the Fall Creek Place Development and by amendment add the later acquired Lots to this Fall Creek Place Development Declaration and make those Lots subject to these Declarations and Restrictions;

WHEREAS, Declarant desires to provide for the preservation and enhancement of the values in such community and, to this end, Declarant desires to subject the Real Estate to certain rights, privileges, covenants, restrictions, easements, assessments, charges and liens, each and all to the extent herein provided, for the benefit of the Real Estate and each Owner of all or part thereof; and

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WHEREAS, Declarant deems it desirable, for the efficient preservation of the values and amenities in said community, to create an agency to which shall be delegated and assigned the powers of administering and enforcing the covenants and restrictions contained in this Declaration, and promoting the health, safety and welfare of the owners of the Real Estate, and all parts thereof.

NOW, THEREFORE, Declarant hereby declares that the Real Estate is and shall be held, transferred, sold, conveyed, hypothecated, encumbered, leased, rented, used, improved and occupied subject to the terms and conditions of this Declaration, all of which are declared to be in furtherance of a plan of redevelopment and enhancement of the Real Estate.

ARTICLE I DEFINITIONS

The following are the definitions of various terms as they are used in this Declaration:

- A. "Applicable Date" see Article III, Section 2.
- B. "Association" shall mean the Fall Creek Place Homeowners Association, Inc., a not for profit corporation, the member and powers of which are more fully described in Article III of this Declaration.
- C. "Common Areas" are those areas of the Real Estate shown on the Map, attached hereto as Exhibit "C", required to be owned by the Association, not including Lots or dedicated and improved streets.
- D. "Developer" shall mean King Park Area Development Corporation.
- E. "Dwelling Unit" shall mean that portion of a structure erected or located on a Lot designed for occupancy by a single family.
- F. "Lot" shall mean any parcel of the Real Estate, excluding Common Areas and dedicated and improved streets, described on the Map, attached hereto as Exhibit "B".
- G. "Owner" shall mean a person, other than the Declarant, the Developer, or their designees, who has or is acquiring any right, title or interest, legal or equitable, in and to a Lot, but excluding those persons having such interest merely as security for the performance of an obligation, and excluding the Declarant, Developer (or its designee).
- H. "Real Estate" shall mean the real estate subject to this Declaration, including the Lots described in Exhibit "A".

ARTICLE II
RESTRICTIONS, COVENANTS AND REGULATIONS

Section 1. Restrictions on Use. The following covenants and restrictions on the use and enjoyment of the Lots on the Real Estate, shall be in addition to any other covenants or restrictions contained herein and in any real estate plat of any part of the Real Estate heretofore or hereafter recorded, and all such covenants and restrictions are for the mutual benefit and protection of the present and future Owners of any of the Lots and shall run with the land and inure to the benefit of and be enforceable by any Owner. Present or future Owners shall be entitled to injunctive relief against any violation or attempted violation of any such covenants and restrictions, and in addition, shall be entitled to damages for any injuries or losses resulting from any violations thereof, but there shall be no right of reversion or forfeiture resulting from such violation. These covenants and restrictions are as follows:

A. All Lots and the improvements constructed thereon (the "Dwelling Units") shall be used exclusively for residential purposes, including parks. No business buildings shall be erected on said Lots, and no businesses shall be conducted on any part thereof, other than the home occupations permitted in the Dwelling Districts Zoning Ordinance of Marion County, Indiana, as amended from time to time. No residence shall be erected, altered, placed, or permitted to remain on any Lot herein, other than one detached single-family residence not to exceed two and one-half stories in height and permanently detached residential accessory building. Any detached garage, tool shed, storage building or any other detached building erected or used as an accessory building to a residence shall be of a permanent type of construction and shall conform to the general architecture and appearance of any residence. Detached garages, tool sheds or storage buildings may be erected on any Lot subject to the approval of the Design Review Committee as to type, appearance and placement within a Lot.

B. Parking. No parking is permitted on a Lot other than in the garage, parking pad or rear drive. No recreational vehicles, boats, or other storage (except in an enclosed building) shall be permitted on or adjacent to any Lot. No nonfunctioning vehicles shall be maintained on any Lot or in any designating parking areas on the streets. All repairs to vehicles shall be performed inside a garage.

C. Temporary Residences Prohibited. No trailer, shack, tent, boat, basement (except the use thereof as an integrated part of the entirety of the residence), garage or other outbuilding may be used at any time as a residence, temporary or permanent; nor may any structure of a temporary character be used as a residence, except that used by a builder during the construction of structures which shall be promptly removed upon the completion of construction of such building. However, at the discretion of the Design Review Committee, apartments above garages, if properly zoned, may be used as a residence.

D. Nuisances, Waste and Trash. No nuisance shall be permitted and no waste shall be committed in any Dwelling Unit or on any Lot. No lot shall be used or maintained as a dumping ground for trash. Rubbish, garbage or other waste shall be kept

in sanitary containers. All equipment for storage or disposal of such materials shall be kept clean and shall not be stored on any Lot in open public view. All rubbish, garbage or other waste shall be regularly removed from all Lots and shall not be allowed to accumulate thereon.

E. Use of Property. No Dwelling Unit or Lot shall be used in any unlawful manner or in any manner which might cause injury to the reputation of the development on the Real Estate, or which might be a nuisance, annoyance, inconvenience or damage to other Owners and occupants of Dwelling Units or neighboring property, including without limiting the generality of the foregoing, noise by the use of any musical instruments, radio, television, loud speakers, electrical equipment, amplifiers or other equipment or machines, loud persons, and exterior lighting directed beyond a Lot line.

F. Construction Activity. All construction activity on the Real Estate shall be done in accordance with the standards set forth in the Fall Creek Place Builder's Guide and the Design Guidelines, all of which are attached hereto as Exhibit "B";

G. Occupancy and Residential Use of Partially Completed Dwelling House Prohibited. No Dwelling Unit constructed on any of the Lots shall be occupied or used for residential purposes or human habitation until it shall have been substantially completed.

H. Five Year Restricted Period. Notwithstanding anything contained herein to the contrary, for a period from the later of Five (5) years from and after the date that the Owner purchases a newly constructed home or for a period of Five (5) years from and after the issuance of a Certificate of Completion issued pursuant to the Project Agreement required to be entered into between the first Owner and Declarant (the "Restricted Period"), each of the Dwelling Units must be devoted to and used only for single family, owner occupied and residential purposes, and as the Owner's principal residence. Rental, leasing or subleasing of a Dwelling Unit is prohibited. During the Restricted Period, the Owner shall not make or create or suffer to be made or created, any total or partial sale, assignment or conveyance of his interest in a Lot or Dwelling Unit, or enter into any agreement to do any of the same, without the prior written consent of the Declarant, which consent may be withheld in Declarant's sole and absolute discretion.

I. Construction Sites. All home construction sites shall be kept free of any unnecessary trash, scrap materials and equipment and in a clean and orderly fashion.

J. Prohibited Animals/Nuisances. No farm animals, fowls or domestic animals for commercial purpose shall be kept or permitted on any Lot or Lots in the Real Estate.

K. Limitations on Water and Sewer. No private or semi-private water supply and/or sewage disposal system may be located upon any Lot in the Real Estate. No septic tank, absorption field, or other method of sewage disposal shall be located or constructed on any Lot.

L. Limited Access. All Lots shall be accessed from the alley in the rear of each Lot in the Real Estate. No access to any Lot is permitted from the streets, except as specifically permitted by Declarant.

M. Other Restrictions. All tracts of ground in the Real Estate shall be subject to the easements, restrictions and limitations of record appearing on any applicable Plat, other recorded easements, rights of way, restrictions and covenants, and also to all governmental zoning and regulatory authority affecting the Real Estate.

N. Binding Nature/Duration of Covenants. These covenants and restrictions (as the same may be amended from time to time as provided in this Declaration) shall run with the land and shall be binding upon all persons or entities from time to time having any right, title or interest in the Real Estate, or any part thereof, and on all persons or entities claiming under them, until Twenty (20) years after the date of recording hereof, and thereafter said covenants and restrictions shall be automatically extended for successive periods of Ten (10) years each, unless prior to the commencement of any such extension period, by a vote of the majority of the then owners of the lots in the Real Estate, it is agreed that said covenants and restrictions shall terminate in their entirety; provided, however, that no termination of said covenants and restrictions shall affect any easement hereby created and reserved unless all persons entitled to the beneficial use of such easement shall consent thereto. Any such termination shall be evidenced by a written instrument, signed and acknowledged by the Lot Owner or Owners concurring therein, which instrument shall set forth facts sufficient to indicate compliance with this paragraph and shall be recorded in the Office of the Recorder of Marion County, Indiana.

Section 2. Restrictions and Obligations Concerning the Development of the Lots and the Size, Placement and Maintenance of Dwelling Units and Other Structures.

A. Utility Drainage and Sewer Easements. There are areas of ground on the Lots contained in the Real Estate marked "Drainage, Utility and Sewer Easements (D.U. & S. E.)" either separately or in combination.

The Drainage, Utility and Sewer Easements are hereby created and reserved for the Department of Public Works of the City of Indianapolis, Indiana its successors or assigns, who shall have full authority and maintenance and repair responsibilities for such sewer and drainage systems servicing the Real Estate, as well as any future connections and extensions thereto. The easement area of each lot and all improvements thereon shall be maintained continuously by the Owner of the Lot, except for those improvements for which a public authority or utility is responsible.

B. Design Review Committee. As a standing committee of the Association there shall be, and hereby is, established a Design Review Committee ("DRC") consisting of Three (3) or more persons as may, from time to time, be provided in the By-Laws. The Committee shall be the Initial Board of Directors, until the Committee is established in the Association in accordance with the By-Laws.

- (i) No building, fence, walls, fuel storage tanks, antennae, satellite dishes, in-ground or above-ground pools, or other structures or appurtenance shall be

constructed, erected, placed, replaced, altered, or repaired on any Lot in this Real Estate until the building plans, specifications and plot plans showing the location and nature of such structures, improvements and/or appurtenances have been approved by the Fall Creek Place DRC, in accord with the terms and provisions of the Declaration and the Design Review Guidelines. The destruction of trees and vegetation and any other such matters as may effect the environmental and ecology of the Real Estate shall be the proper concern of the DRC and shall first be approved thereby.

- (ii) Fence Limitations/Site Lines. All fences located in the back yards shall be approved by the DRC. Galvanized chain link fence shall not be permitted. No fence, wall, hedge or shrub planting which obstructs site lines at elevation between Two (2) and Six (6) feet above the street shall be placed or permitted to remain on any corner lot within the triangular area formed by the street property lines and a line connecting points Twenty -Five (25) feet from the intersection of said street lines, or in the case of a rounded property corner from the intersection of the street lines extended. The same site line limitation shall apply to any Lot within Ten (10) feet from the intersection of a street line with the edge of driveway pavement. No trees shall be permitted to remain within such distances of such intersection unless the foliage line is maintained at sufficient height to prevent obstruction of such site line; provided, however, the removal of a tree must be approved by the DRC per (i) above.

C. Minimum Living Area. No residence constructed on a Lot herein shall have less than Nine Hundred (900) square feet of finished and livable floor area in aggregate, exclusive of basements, open porches and garages, except as approved by the DRC. A minimum square footage of six hundred (600) square feet (exclusive of basements, open porches and garages) for the ground level shall be required whenever a multi-floor residence is involved, with the aggregate of all livable floor area to remain a minimum of Eleven Hundred (1,100) square feet.

D. Prohibition of Used Structures. All structures constructed or placed on any Lot shall be constructed or improved with substantially all new materials, and no used materials shall be relocated or placed on any such Lot; provided, however, nothing contained herein shall prohibit an Owner from preserving and restoring an existing Dwelling Unit on a Lot, provided all such preservation and restoration (including plans and specifications therefor) is approved by the DRC in the same manner as provided herein by the Fall Creek Place Builder's Guide and the Design Review Guidelines, all of which are attached hereto as Exhibit "B".

E. Maintenance of Lots and Improvements. The Owner of any Lot shall at all times maintain the Lot and any improvements situated thereon in such a manner as to prevent the Lot or improvements from becoming unsightly and, specifically, such Owner shall:

- (i) Cut the grass of the Lot at such times as may be reasonably required in order to prevent the unsightly growth of vegetation and noxious weeds;

- (ii) Remove all debris or rubbish;
- (iii) Prevent the existence of any other condition that reasonably tends to detract from or diminish the aesthetic appearance of the Real Estate;
- (iv) Cut down and remove dead trees;
- (v) Where applicable, prevent debris and foreign material from entering drainage areas;
- (vi) Keep the exterior of all improvements in such a state of repair or maintenance as to avoid their becoming unsightly;
- (vii) Within Sixty (60) days following completion of a house on a Lot, landscape the Lot, weather permitting pursuant to the Design Guidelines; and
- (viii) Keep the Lot, sidewalk, and the street serving the Lot appropriately clean during all periods of construction.

F. Developer's and an Owner's Right to Perform Certain Maintenance. In the event that any Owner of a Lot shall fail to maintain his Lot and any improvements situated thereon in accordance with the provisions of these Restrictions and the provisions of any recorded plat of the Real Estate, the Developer, until the Applicable Date, and thereafter the Association, shall have the right, but not the obligation, by and through its agents and employees or contractors, to enter upon said Lot and repair, mow, clean or perform such other acts, as may be reasonably necessary to make such Lot and improvements situated thereon, if any, conform to the requirements of these Restrictions and the provisions contained in any such plat. The cost thereof to the Developer or the Association shall be collected from such Owner and shall be a lien upon the Lot collectible in any court of law or in equity together with reasonable attorney's fees for the enforcement of such lien. The developer, the Association, or any of their agents, employees, or contractors, shall be liable for any damage which may result from any maintenance work performed hereunder.

Section 3. Provisions Respecting Disposal of Sanitary Waste.

A. Outside Toilet Facilities. No outside or portable toilets shall be permitted on any Lot (except during a period of construction) and no sanitary waste or other wastes shall be permitted to be exposed.

B. Construction of Sanitary Sewage Lines and Disposal Facilities. All sanitary sewage lines and disposal facilities on the Lots shall be designed, constructed and installed in accordance with the provisions and requirements of the City of Indianapolis, the Health and Hospital Corporation of Marion County, or any other governmental agency or entity of competent jurisdiction, and the restrictions of this Declaration.

Section 4. General Prohibitions. In addition to any restrictions or limitations contained elsewhere in this Declaration and in any recorded plat of the Real Estate, the following prohibitions and restrictions shall govern the development, use and occupancy of the Real Estate.

A. Garbage, Trash and Other Refuse. No Owner of a Lot shall burn or permit the burning out-of-doors of garbage or other refuse, nor shall any such Owner accumulate or permit the accumulation of such refuse on his Lot except as may be permitted in subparagraph B below.

B. Fuel Storage Tanks and Trash Receptacles. No Owner shall install any tank for the storage of fuel. Every outdoor receptacle for ashes, trash, rubbish or garbage shall be installed underground or shall be so placed and kept as not to be visible from any street within the Real Estate at any time, except at the time when refuse collections are being made.

C. Utility Services. Utility services shall, to the greatest extent possible, be installed underground.

D. Animals. An Owner may keep and maintain only typical and usual household pets on any Lot. No poultry or farm animals shall be raised or maintained on any Lot. Any household pets permitted hereunder shall be kept reasonably confined on such Lot so as not to become a danger to persons or other pets.

E. Recreation Facilities. Play structures, swing sets, pools, hot tubs, and other like accessory uses shall be confined to the rear yard and constructed and maintained so as not to be visible from the street.

ARTICLE III
FALL CREEK PLACE HOMEOWNERS ASSOCIATION

Section 1. In General. There has been or will be created, under the laws of the State of Indiana, a not-for-profit corporation to be known as the "Fall Creek Place Homeowners' Association, Inc.", which is referred to as the "Association". Every Owner of a Lot shall be a member of the Association and shall be subject to all the requirements and limitations imposed in these restrictions on other Owners of Lots within the Real Estate and on members of the Association, including those provisions with respect to the payment of a monthly or annual charge.

Section 2. Classes of Membership. The Association shall have Two (2) classes of voting membership:

Class A. Class A members shall be Owners, with the exception of the Declarant, Developer (or their designee) and shall be entitled to one vote for each Lot owned. When more than one person holds an interest in any Lot, all such persons shall be members. The vote for such Lot shall be exercised as they among

themselves determine, but in no event shall more than one vote be cast with respect to any Lot.

Class B. Class B member(s) shall be the Declarant and Developer (or their designee), who shall be entitled One (1) vote for each Lot owned. THE APPLICABLE DATE IS DEFINED AS: The Class B membership shall cease and be converted to Class A membership on the happening of any of the following events, whichever occurs earlier:

- (1) The date upon which written resignation of the Class B members is delivered to the resident agent of the Association, or;
- (2) Thirty (30) days after the date when the total votes outstanding in the Class A Membership equal or exceed the total votes outstanding in the Class B Membership, or;
- (3) Ten (10) years after the date of recordation of this Declaration.

Section 3. Board of Directors. The members shall elect a Board of Directors of the Association as prescribed by the Association's By-Laws. The Board of Directors shall manage the affairs of the Association.

Section 4. Professional Management. No contract or agreement for professional management of the Association shall be for a term in excess of Three (3) years. Any such agreement or contract shall provide for termination by either party with or without cause and without any termination fee by written notice of Ninety (90) days or less.

Section 5. Responsibilities of the Association.

A. The Association shall own, maintain and repair the Common Areas shown on Exhibit "C" attached hereto, including landscaping and any improvement thereon.

B. The Association shall procure and maintain casualty insurance for the Common Areas, liability insurance (including directors' and officers' insurance) and such other insurance as it deems necessary or advisable.

C. The Association may contract for such services as management, snow removal, security control, trash removal, and such other services as the Association deems necessary or advisable.

Section 6. Covenant for Maintenance Assessments.

A. Creation of the Lien and Personal Obligation of Assessments. Each Owner of any Lot, except the Declarant, by acceptance of a deed therefor, whether or not it shall be so expressed in such deed, is deemed to covenant and agree to pay to the Association: (1) monthly or annual assessment or charges; and (2) special assessments for capital improvements and operating deficits; such assessments to be established and

collected as hereinafter provided. The monthly and special assessments, together with interest, costs, and reasonable attorneys' fees, shall be a charge on the land and shall be a continuing lien upon the Lot against which each such assessment is made. Each such assessment, together with interest, costs and reasonable attorneys' fees, shall also be the personal obligation of the person who was the Owner of such Lot at the time when the assessment fell due.

B. Purpose of Assessments. The assessments levied by the Association shall be used exclusively to promote the health, safety and welfare of the Owners of Lots and for the improvement and maintenance of the Common Area and improvements, sidewalks, all Lots owned or maintained by the Association, and other purposes as specifically provided herein.

C. Special Assessments for Capital Improvements and Operating Deficits. In addition to the monthly or annual assessments authorized above, the Association may levy a special assessment for the purpose of defraying, in whole or in part, the cost of any construction, reconstruction, repair or replacement of any capital improvement which the Association is required to maintain or for operating deficits which the Association may from time to time incur, provided that any such assessment shall have the assent of a majority of the votes of the members who are voting in person or by proxy at a meeting duly called for this purpose.

D. Notice and Quorum for Any Action Authorized Under Section 6(c). Written notice of any meeting called for the purpose of taking any action authorized under Section 6(c) shall be sent to all members not less than Thirty (30) days nor more than Sixty (60) days in advance of the meeting. At the first such meeting called, the presence of members or of proxies entitled to cast Fifty One Percent (51%) of all the votes of the membership shall constitute a quorum. If the required quorum is not present, another meeting may be called subject to the same notice requirement, and the required quorum at the subsequent meeting shall be One-Half (1/2) of the required quorum at the preceding meeting. No such subsequent meeting shall be held more than Sixty (60) days following the preceding meeting.

E. Date of Commencement of Monthly Assessments; Due Dates. The monthly or annual assessment provided for herein shall commence for each Lot on the earlier to occur of the date of conveyance to the Owner by deed or on the date the Owner signs a land contract to purchase the Lot and shall be effective (and prorated) on a calendar year basis. The Board of Directors shall fix the amount of the assessment at least Thirty (30) days in advance of the calendar year for which the assessment shall be effective; however, any increase in the assessment shall only be on a calendar year basis. Written notice of special assessments and such other assessment notices as the Board of Directors shall deem appropriate shall be sent to every Owner subject thereto. The due dates for all assessments shall be established by the Board of Directors. The Association shall, upon demand, and for a reasonable charge, furnish a certificate in recordable form signed by an officer of the Association setting forth whether the assessments on a specified Lot have been paid. A properly executed certificate from the Association regarding status of assessments for any Lot shall be binding upon the Association as of the date of its issuance.

F. Effect of Nonpayment of Assessments; Remedies of the Association. Any charge levied or assessed against any Lot, together with interest and other charges or costs as hereinafter provided, shall become and remain a lien upon that Lot until paid in full, and shall also be a personal obligation of the Owner or Owners of that Lot at the time the charge became due. Such charge shall bear interest at the rate of Twelve Percent (12%) per annum until paid in full. If, in the opinion of the Board of Directors of the Association, such charge has remained due and payable for an unreasonably long period of time, the Board may, on behalf of the Association, institute such procedures, either at law or in equity, by foreclosure or otherwise, to collect the amount owing in any court of competent jurisdiction. The Owner of the Lot or Lots subject to the charge shall, in addition to the amount of the charge at the time legal action is instituted, be obliged to pay any expense or costs, including attorneys' fees, incurred by the Association in collecting the same. Every Owner of a Lot in the Real Estate and any person who may acquire any interest in such Lot, whether as an Owner or otherwise, is hereby notified, and by acquisition of such interest agrees, that any such liens which may exist upon said Lot at the time of the acquisition of such interest are valid liens and shall be paid. Every person who shall become an Owner of a Lot is hereby notified that by the act of acquiring, making such purchase or acquiring such title, such person shall be conclusively held to have covenanted to pay the Association all charges that the Association shall make pursuant to this subparagraph.

G. Subordination of the Lien to Mortgagee. The lien of the assessments provided for herein shall be subordinate to the lien of any first mortgage on a Lot. Sale or transfer of any Lot shall not affect the assessment lien. No sale or transfer shall relieve such Lot from liability for any assessments thereafter becoming due or from the lien thereof.

H. Suspension of Privileges of Membership. Notwithstanding any other provision contained herein, the Board of Directors of the Association shall have the right to suspend the voting rights, if any, and the services to be provided by the Association, together with the right to use the facilities of the Association, of any member (i) for any period during which any of the Association's charges or any fines assessed under the Declaration owed by the member remains unpaid; (ii) during the period of any continuing violation of the restrictive covenants for the Real Estate after the existence of the violation shall have been declared by the Board of Directors of the Association; and (iii) during the period of any violation of the Articles of Incorporation, By-Laws or regulations of the Association.

ARTICLE IV
AMENDMENT OF DECLARATION

Section 1. Generally. Except as otherwise provided in this Declaration, amendments to this Declaration shall be proposed and adopted by Declarant until the Applicable Date and thereafter, by agreement of the majority of the Lot Owners.

Section 2. Amendments by Declarant Only. Notwithstanding the foregoing or anything elsewhere contained herein, the Declarant shall have and hereby reserves the right and power acting alone and without the consent or approval of the Owners, any mortgagees or any person to amend or supplement this Declaration at any time and from time to time if such amendment or supplement is made; (a) to comply with requirements of the Federal National Mortgage Association, the Government National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Department of Housing and Urban Development, the Veterans Administration, or any other governmental agency or any other public, quasi-public or private entity which performs (or may in the future perform) functions similar to those currently performed by such entities; (b) to induce any of such agencies or entities to make, purchase, sell, insure or guarantee first mortgages covering Lots and Dwelling Units; (c) to bring this Declaration into compliance with any statutory requirements; (d) to comply with or satisfy the requirements of any insurance underwriters, insurance rating bureaus or organizations which perform (or may in the future perform) functions similar to those performed by such agencies or entities; or (e) to correct clerical or typographical errors in this Declaration or any Exhibit hereto or any supplement or amendment thereto. In furtherance of the foregoing, a power coupled with an interest is hereby reserved by (and granted by each Owner to) the Declarant to vote in favor of, make, or consent to any amendments described in this Section 2 on behalf of each Owner as proxy or attorney-in-fact, as the case may be. Each deed, mortgage, trust deed, or other evidence of obligation, or other instrument affecting a Lot or Dwelling Unit and the acceptance thereof shall be deemed to be a grant and acknowledgment of, and a consent to the reservation of, the power to the Declarant to vote in favor of, make, execute and record any such amendments. The right of the Declarant to act pursuant to rights reserved or granted under this Section 2 shall terminate at such time as the Declarant no longer is an Owner.

ARTICLE V
ACCEPTANCE AND RATIFICATION

All present and future Owners, mortgagees, tenants and occupants of the Lots and Dwelling Units, and other Persons claiming by, through or under them, shall be subject to and shall comply with the provisions of this Declaration as amended or supplemented from time to time. The acceptance of a deed of conveyance or the act of occupancy of any Lot or Dwelling Unit shall constitute an agreement that the provisions of this Declaration and such rules, regulations and guidelines, as amended or supplemented from time to time, are accepted and ratified by such Owner, tenant or occupant, and all such provisions shall be covenants running with the land and shall bind any person having at any time any interest or estate in a Lot or Dwelling Unit or the Real Estate, all as though

such provisions were recited and stipulated at length in each and every deed, conveyance, mortgage or lease thereof.

ARTICLE VI
BENEFIT AND ENFORCEMENT

Section 1. This Declaration and the restrictions shall run with and bind the Real Estate for a term commencing on the date this Declaration is recorded in the office of the Recorder of Marion County, Indiana and expiring December 31, 2010, after which time they shall be automatically extended for successive periods of Ten (10) years each, unless by vote of a majority of the then Owners of the Lots it is agreed to change this Declaration or the restrictions in whole or in part, or to terminate the same. This Declaration may be enforced by Developer, and after the Applicable Date, by any Owner or the Association. The failure or delay at any time of Developer or the Owners or Association to enforce any of the same shall in no event be deemed a waiver of the same, or of the right to enforce the same at any time or from time to time thereafter, or an estoppel against the enforcement thereof.

Section 2. Metropolitan Development Commission. The Metropolitan Development Commission, by and through the Department of Metropolitan Development, its successors or assigns, shall have no right, power or authority, to enforce any covenants, commitments, restrictions or limitations contained in these Declarations other than those covenants, commitments, restrictions or limitations that expressly run in favor of the Metropolitan Development Commission as the Declarant or an Owner under these Declarations.

ARTICLE VII
MISCELLANEOUS

Section 1. Costs and Attorneys' Fees. In any proceeding arising because of failure of an Owner to make any payments required by, or to comply with any provision of this Declaration as amended from time to time, a party who successfully brings an action to enforce the same shall be entitled to recover its costs and reasonable attorney's fees incurred in connection with such enforcement, and the amount of such costs and fees so awarded shall be a lien upon the non-complying Lot collectible in any court of law as are other liens on real property.

Section 2. Severability Clause. The invalidity of any covenant, restriction, condition, limitation or other provision of this Declaration shall not impair or affect in any manner the validity, enforceability or effect of the rest of this Declaration, and each shall be enforceable to the greatest extent permitted by law.

Section 3. Pronouns. Any reference to the masculine, feminine or neuter gender herein shall, unless the context clearly requires the contrary, be deemed to refer to and include all genders. Words in the singular shall include and refer to the plural, and vice versa, as appropriate.

Section 4. Interpretation. The captions and title of the various articles, sections, sub-sections, paragraphs and subparagraphs of this Declaration are inserted herein for ease and convenience of reference only and shall not be used as an aid in interpreting or construing this Declaration or any provision hereof.

Section 5. If Declarant shall transfer its fee interest in the Real Estate to any person, firm, corporation, agency or entity other than an Owner, such transferee shall be treated as Declarant as to such interest transferred, and shall be entitled to all of the benefits and obligations hereunder, and all Owners shall attorn to such transferee.

IN WITNESS WHEREOF, Consolidated City of Indianapolis, acting by and through its Department of Metropolitan Development, on behalf of the Metropolitan Development Commission of Marion County, acting in its capacity as the Redevelopment Commission, Declarant herein, has executed this Declaration on the day and year first hereinabove set forth.

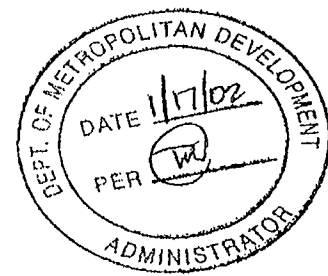
CONSOLIDATED CITY OF INDIANAPOLIS,
Acting by and through its DEPARTMENT OF
METROPOLITAN DEVELOPMENT, on behalf of the
METROPOLITAN DEVELOPMENT COMMISSION
OF MARION COUNTY, acting in its capacity as the
REDEVELOPMENT COMMISSION

By: Mary Pansal
Printed: MARY PANSAL
Title: Director

This instrument was prepared by Stephen Neff, Assistant Corporation Counsel, Office of Corporation Counsel, 200 E., Washington Street, Suite 1601, Indianapolis, Indiana 46204 and Mary E. Solada, Bingham McHale, LLP, 2700 Market Tower, 10 West Market St., Indianapolis, Indiana 46204

S. Ford

1-17-02



STATE OF INDIANA)
) SS:
COUNTY OF MARION)

Before me, a Notary Public in and for said County and State, personally appeared Maury Plambeck, Director of the Department of Metropolitan Development, who acknowledged execution of the foregoing Instrument for and on behalf of said Department and who, having been duly sworn, stated that the representations therein contained are true.

Witness my hand and Notarial Seal this 14th day of January, 2002.

Vicki L. Peavey
Notary Public

Vicki L. Peavey
Printed

5-11-07
Commission Expiration Date

MARION
County of Residence

This instrument was prepared by Stephen Neff, Assistant Corporation Counsel, Office of Corporation Counsel, 200 E., Washington Street, Suite 1601, Indianapolis, Indiana 46204 and Mary E. Solada, Bingham McHale, LLP, 2700 Market Tower, 10 West Market St., Indianapolis, Indiana 46204

EXHIBIT LIST

EXHIBIT A	Legal Description
EXHIBIT B	Fall Creek Builder's Guide & Design Guidelines
EXHIBIT C	Common Areas Map

**Declaration of Covenants and Restrictions of the Fall Creek Place
Development EXHIBIT 'A'**

Address	Street Name	ID	Parcel #	Legal Description
318	E 22ND	ST	1033977	Martindales Lincoln Park Add 1st Sec 48FT W END L1 & 32FT S SIDE OF 48FT W END L2 B5
115	E 23RD	ST	1029457	Martindales Lincoln Park Add 1st Sec EX 90FT W END L17 B2
121	E 23RD	ST	1093795	Martindales Lincoln Park Add 74FT W END L16 B2
153	E 23RD	ST	1042053	Martindales Lincoln Park Add 1ST SEC L16 B3
216	E 23RD	ST	1023424	Martindales Lincoln Park Add 2nd Sec L1 B9
217	E 23RD	ST	1043806	Martindales Lincoln Park Add 2nd Sec 40FT W END L16 B4
305	E 23RD	ST	1051558	Martindales Lincoln Park Add 1st Sec 50FT E END L17 B5
322	E 23RD	ST	1093047	Martindales Lincoln Park Add 2nd Sec 50.43FT W END L1 B8
410	E 23RD	ST	1045156	Stevensons Sub 37.5FT W OF 37.5FT E END L31& L32 B7
414	E 23RD	ST	1045155	Stevensons Sub 37.5FT E END L31& L32 B7
415	E 23RD	ST	1078723	Martindales Lincoln Park Add 1st Sec L17 B6
419	E 23RD	ST	1098770	Martindales Lincoln Park Add 1st Sec L16 B6 EX 81FT E END
501	E 23RD	ST	1048317	Bruce Place Add 60 FT W END L18
15	E 24TH	ST	1075868	Martindales Lincoln Pk Add 2ND Sec 46.20 FT N END L16 B12
137	E 24TH	ST	1098231	Martindales Lincoln Park Add 2nd Sec 40FT 8IN NL 39FT 4IN SL E END L17 B10
140	E 24TH	ST	1012652	Martindales Lincoln Park Add 3rd Sec 52FT E END L30 B15
146	E 24TH	ST	1033962	Martindales Lincoln Park Add 3rd Sec EX 97.15FT SL E END L1 & EX 102.3FT NL E END L2 B15
150	E 24TH	ST	1018664	Martindales Lincoln Park Add 3rd Sec 36FT W OF 66.3FT W OF 61.05 FT SL E END L1 B15
204	E 24TH	ST	1068463	Martindales Lincoln Park Add 3rd Sec 40FT W OF 44FT E END L29 & 39.95FT W OF 44FT E END L30 B16
208	E 24TH	ST	1059745	Martindales Lincoln Park Add 3rd Sec 44FT E END L29 & L30 B16
212	E 24TH	ST	1012003	Martindales Lincoln Park Add 3rd Sec 50.26FT W END L1 B16
217	E 24TH	ST	1080459	Martindales Lincoln Park Add 2nd Sec 51.75FT W END OF 11FT N SIDE L15 & 51.75FT W END L16 B9
309	E 24TH	ST	1038809	Martindales Lincoln Park Add 2nd Sec 41.57FT E OF 55FT W END L17 B8
315	E 24TH	ST	1068710	Martindales Lincoln Park Add 2nd Sec 40FT E END L17 & 25FT N SIDE OF 40FT E END L18 B8
402	E 24TH	ST	1038786	Martindales Lincoln Park Add 3rd Sec 11FT S SIDE OF 62.45FT W END L29 & 62.45FT W END L30 B18
408	E 24TH	ST	1008920	Martindales Lincoln Park Add 3rd Sec 11FT S SIDE OF 30FT W OF 44FT E END L29 & 30FT W OF 44FT E END L30 B18
416	E 24TH	ST	1004446	Martindales Lincoln Park Add 3rd Sec 44FT E END L30 & 44FT E END OF 11FT S SIDE L29 B18
520	E 24TH	ST	1008886	J A & M Bruces Add L99 EX 97.5FT E END & EX 39FT MID PT
524	E 24TH	ST	1094481	J A & M Bruces Add 39FT X 55FT MID PT L99
610	E 24TH	ST	1036222	J A & M Bruces Add 50 FT E OF 82FT W END L78
616	E 24TH	ST	1053420	Bruce Add 50FT E END L78
10	E 25TH	ST	1052410	Douglass Park Add L7
15	E 25TH	ST	1033331	Martindales Lincoln Park Add 3rd Sec 42.5 FT W END L15 B13
25	E 25TH	ST	1088014	Martindales Lincoln Park Add 3rd Sec L15 B13 EX 42.5FT W END
111	E 25TH	ST	1013063	Martindales Lincoln Park Add 3rd Sec L16 B14
116	E 25TH	ST	1072170	Douglass Park Add EX 93.5FT E END L29 & L30
117	E 25TH	ST	1055769	Martindales Lincoln Park Add 3rd Sec 40FT W END L14 & L15 B14
215	E 25TH	ST	1012286	Martindales Lincoln Park Add 3rd Sec 40FT W END L15 & 40FT W END OF 21FT N SIDE L14 B16
301	E 25TH	ST	1088506	Martindales Lincoln Park Add 3rd Sec 30FT W END L16 B17

**Declaration of Covenants and Restrictions of the Fall Creek Place
Development EXHIBIT 'A'**

303	E	25TH	ST	1042524	Martindales Lincoln Park Add 3rd Sec 30FT E OF 30FT W END L16 B17
305	E	25TH	ST	1058530	Martindales Lincoln Park Add 3rd Sec 35FT E OF 60FT W END L16 & L17 B17 EX 10FT S SIDE
309	E	25TH	ST	1057289	Martindales Lincoln Park Add 3rd Sec 37.6FT E END L16 & L17 B17 EX 10FT S SIDE
Address: Street Name ID Parcel # Legal Description					
519	E	25TH	ST	1011711	J A & M BRUCES ADD 40FT W END L89
525	E	25TH	ST	1033792	J A & M Bruces Add 40FT W OF 102FT E END L89
535	E	25TH	ST	1091555	J A & M Bruces Add 62FT E END L89
535	E	25TH	ST	1042138	Bruces Add 40FT W OF 62FT E END L89
609	E	25TH	ST	1014196	J A & M Bruces Add 30FT E OF 72FT W END L88
615	E	25TH	ST	1072509	J A & MARGERET BRUCES ADD 40FT X 68 FT W OF 40FT N E COR L88
617	E	25TH	ST	1039899	J A & M Bruces Add 40FT E END L88
2201	N	ALABAMA	ST	1068165	Martindales Lincoln Park Add 1st Sec L32 B5
2206	N	ALABAMA	ST	1066797	Martindales Lincoln Park Add 1st Sec L3 B4
2211	N	ALABAMA	ST	1079714	Martindales Lincoln Park Add 1st Sec L30 B5
2225	N	ALABAMA	ST	1058524	Martindales Lincoln Park Add 1st Sec L26 B5
2229	N	ALABAMA	ST	1028492	Martindales Lincoln Park Add 1st Sec L25 B5
2230	N	ALABAMA	ST	1007889	Martindales Lincoln Park Add 1st Sec L8 B4
2234	N	ALABAMA	ST	1022326	Martindales Lincoln Park Add 1st Sec L9 B4
2236	N	ALABAMA	ST	1013702	Martindales Lincoln Park Add 1st Sec L10 B4
2237	N	ALABAMA	ST	1006365	Martindales Lincoln Park Add 1st Sec L23 B5
2241	N	ALABAMA	ST	1032698	Martindales Lincoln Park Add 1st Sec L22 B5
2242	N	ALABAMA	ST	1022817	Martindales Lincoln Park Add 1st Sec L11 B4
2245	N	ALABAMA	ST	1049820	Martindales Lincoln Park Add 1st Sec L21 B5
2246	N	ALABAMA	ST	1016549	Martindales Lincoln Park Add 1st Sec L12 B4
2247	N	ALABAMA	ST	1069910	Martindales Lincoln Park Add 1st Sec L20 B5
2250	N	ALABAMA	ST	1064770	Martindales Lincoln Park Add 1st Sec L13 B4
2253	N	ALABAMA	ST	1007091	Martindales Lincoln Park Add 1st Sec L19 B5
2259	N	ALABAMA	ST	1010078	Martindales Lincoln Park Add 1st Sec L18 B5
2262	N	ALABAMA	ST	1053843	Martindales Lincoln Park Add 1st Sec L16 B4 EX 40FT W END
2306	N	ALABAMA	ST	1058524	Martindales Lincoln Park Add 2nd Sec L2 B9
2321	N	ALABAMA	ST	1096510	Martindales Lincoln Park Add 2nd Sec L27 thru L32 B8
2322	N	ALABAMA	ST	1043330	Martindales Lincoln Park Add 2nd Sec L6 B9
2331	N	ALABAMA	ST	1093802	Martindales Lincoln Park Add 2nd Sec L25 B8
2335	N	ALABAMA	ST	1040953	Martindales Lincoln Park Add 2nd Sec L24 B8
2350	N	ALABAMA	ST	1060770	Martindales Lincoln Park Add 2nd Sec L13 B9
2357	N	ALABAMA	ST	1007803	Martindales Lincoln Park Add 2nd Sec L18 B8 EX 40FT NL X 25FT NE COR
2358	N	ALABAMA	ST	1060937	Martindales Lincoln Park Add 2nd Sec L15 B9 EX TR N SIDE 11FT WL 10FT EL
2359	N	ALABAMA	ST	1007816	Martindales Lincoln Park Add 2nd Sec 2FT N SIDE OF 35FT W END L19 B8
2402	N	ALABAMA	ST	1001335	Martindales Lincoln Park Add 3rd Sec 86.19FT E END L1 B16
2409	N	ALABAMA	ST	1004689	Martindales Lincoln Park Add 3rd Sec L28 B17
2425	N	ALABAMA	ST	1066945	Martindales Lincoln Park Add 3rd Sec L24 B17
2429	N	ALABAMA	ST	1065763	Martindales Lincoln Park Add 3rd Sec L23 B17
2436	N	ALABAMA	ST	1070924	Martindales Lincoln Park Add 3rd Sec L9 B16
2438	N	ALABAMA	ST	1033326	Martindales Lincoln Park Add 3rd Sec L10 B16
2441	N	ALABAMA	ST	1053437	Martindales Lincoln Park Add 3rd Sec L20 B17

**Declaration of Covenants and Restrictions of the Fall Creek Place
Development EXHIBIT 'A'**

2442	N	ALABAMA	ST	1047660	Martindales Lincoln Park Add 3rd Sec L11 B16	
2445	N	ALABAMA	ST	1023702	Martindales Lincoln Park Add 3rd Sec L19 B17	
2446	N	ALABAMA	ST	1049134	Martindales Lincoln Park Add 3rd Sec L12 B16	
2449	N	ALABAMA	ST	1038052	Martindales Lincoln Park Add 3rd Sec L18 B17	
2452	N	ALABAMA	ST	1061461	Martindales Lincoln Park Add 3rd Sec L13 B16	
2453	N	ALABAMA	ST	1052175	Martindales Lincoln Park Add 3rd Sec L17 B17 EX 31FT X 72FT NE PT	
2454	N	ALABAMA	ST	1023441	Martindales Lincoln Park Add 3rd Sec EX 40FT W END OF 21FT N SIDE L14 B16	
2458	N	ALABAMA	ST	1024076	Martindales Lincoln Park Add 3rd Sec L15 B16 EX 40FT W END	
2250		CENTRAL	AV	1059742	Martindales Lincoln Park Add 1st Sec L13 B6	
2254		CENTRAL	AV	1038554	Martindales Lincoln Park Add 1st Sec L14 B6	
2258		CENTRAL	AV	1022907	Martindales Lincoln Park Add 1st Sec L15 B6	
Address	Street Name	ID	Parcel #	Legal Description		
2262		CENTRAL	AV	1068485	Martindales Lincoln Park Add 1st Sec 81FT E END L16 B6	
2327		CENTRAL	AV	1076756	M Bruces Sub J A & M Bruces ADD L3	
2354		CENTRAL	AV	1072914	Stevensons Sub L14 B7	
2358		CENTRAL	AV	1002706	Stevensons Sub L15 B7 EX 11FT 6IN X 46FT 8IN NW PT	
2402		CENTRAL	AV	1051637	Martindales Lincoln Park Add 3rd Sec L1 B18	
2406		CENTRAL	AV	1051638	Martindales Lincoln Park Add 3rd Sec L2 B18	
2410		CENTRAL	AV	1086292	Martindales Lincoln Park Add 3rd Sec L3 B18	
2416		CENTRAL	AV	1004642	Martindales Lincoln Park Add 3rd Sec L4 B18	
2424		CENTRAL	AV	1043742	Martindales Lincoln Park Add 3rd Sec L6 B18	
2460		CENTRAL	AV	1067728	Martindales Lincoln Park Add 3rd Sec L15 B18	
2502		CENTRAL	AV	1055254	Douglass Park ADD L194	
2502		CENTRAL	AV	1055255	Douglass Park ADD L195	
2523		CENTRAL	AV	1023523	Wrights Park Ave ADD L22	
2531		CENTRAL	AV	1070470	Wrights Park Ave ADD L23	
2537		CENTRAL	AV	1023878	Wrights Park Ave ADD L24	
2544		CENTRAL	AV	1058077	Douglass Park ADD L185	
2602		CENTRAL	AV	1022046	Douglass Park ADD L182	
2605		CENTRAL	AV	1040236	Hadleys Sub 76ft W End L4	
2609		CENTRAL	AV	1002032	Hadleys Sub L5	
2223	N	DELAWARE	ST	1082657	Martindales Lincoln Park Add 1st Sec L27 B4	
2229	N	DELAWARE	ST	1048536	Martindales Lincoln Park Add 1st Sec L25 B4	
2235	N	DELAWARE	ST	1069943	Martindales Lincoln Park Add 1st Sec L24 B4	
2239	N	DELAWARE	ST	1066446	Martindales Lincoln Park Add 1st Sec L23 B4	
2241	N	DELAWARE	ST	1043952	Martindales Lincoln Park Add 1st Sec L22 B4	
2245	N	DELAWARE	ST	1027867	Martindales Lincoln Park Add 1st Sec L21 B4	
2249	N	DELAWARE	ST	1006674	Martindales Lincoln Park Add 1st Sec L20 B4	
2253	N	DELAWARE	ST	1044500	Martindales Lincoln Park Add 1st Sec L19 B4	
2257	N	DELAWARE	ST	1073111	Martindales Lincoln Park Add 1st Sec L18 B4	
2258	N	DELAWARE	ST	1044499	Martindales Lincoln Park Add 1st Sec L15 B3	
2302	N	DELAWARE	ST	1076718	Martindales Lincoln Park Add 2nd Sec L1 B10	
2305	N	DELAWARE	ST	1032442	Martindales Lincoln Park Add 2nd Sec L31 B9	
2306	N	DELAWARE	ST	1071028	Martindales Lincoln Park Add 2nd Sec L2 B10	
2325	N	DELAWARE	ST	1039818	Martindales Lincoln Park Add 2nd Sec L26 B9 EX PT FOR ST	
2329	N	DELAWARE	ST	1022881	Martindales Lincoln Park Add 2nd Sec L25 B9 EX PT FOR ST	
2333	N	DELAWARE	ST	1011381	Martindales Lincoln Park Add 2nd Sec L24 B9 EX PT FOR ST	
2337	N	DELAWARE	ST	1084309	Martindales Lincoln Park Add 2nd Sec L23 B9 EX PT FOR ST	
2338	N	DELAWARE	ST	1039221	Martindales Lincoln Park Add 2nd Sec L10 B10 EX PT FOR ST	
2341	N	DELAWARE	ST	1015751	Martindales Lincoln Park Add 2nd Sec L22 B9 EX PT FOR ST	

**Declaration of Covenants and Restrictions of the Fall Creek Place
Development EXHIBIT 'A'**

2342	N	DELAWARE	ST	1047212	Martindales Lincoln Park Add 2nd Sec L11 B10 EX PT FOR ST			
2345	N	DELAWARE	ST	1079686	Martindales Lincoln Park Add 2nd Sec L21 B9 EX PT FOR ST			
2350	N	DELAWARE	ST	1012004	Martindales Lincoln Park Add 2nd Sec L13 B10 EX PT FOR ST			
2351	N	DELAWARE	ST	1039072	Martindales Lincoln Park Add 2nd Sec L20 B9 EX PT FOR ST			
2356	N	DELAWARE	ST	1006480	Martindales Lincoln Park Add 2nd Sec L14 B10 EX PT FOR ST			
2358	N	DELAWARE	ST	1031020	Martindales Lincoln Park Add 2nd Sec L15 B10 EX PT FOR ST			
2362	N	DELAWARE	ST	1014802	Martindales Lincoln Park Add 2nd Sec L16 B10 EX 50FT W END & EX PT FOR ST			
2401	N	DELAWARE	ST	1002576	Martindales Lincoln Park Add 3RD Sec 52.45FT NL X EX PT FOR ST			
2402	N	DELAWARE	ST	1050384	Martindales Lincoln Park Add 3RD Sec 61.15 FT SL E END L1& 66.30FT NL E END L2 B15 EX PT FOR ST			
2405	N	DELAWARE	ST	1014756	Martindales Lincoln Park Add 3RD Sec 52.45 FT W END L29 B16 EX PT FOR ST			
2409	N	DELAWARE	ST	1088714	Martindales Lincoln Park Add 3rd Sec L28 B16 EX PT FOR ST			
2410	N	DELAWARE	ST	1033325	Martindales Lincoln Park Add 3rd Sec L3 B15 EX PT FOR ST			
2413	N	DELAWARE	ST	1024463	Martindales Lincoln Park Add 3rd Sec L27 B16 EX PT FOR ST			
2417	N	DELAWARE	ST	1069922	Martindales Lincoln Park Add 3rd Sec L26 B16 EX PT FOR ST			
2421	N	DELAWARE	ST	1014295	Martindales Lincoln Park Add 3rd Sec L25 B16 EX PT FOR ST			
2425	N	DELAWARE	ST	1040579	Martindales Lincoln Park Add 3rd Sec L24 B16 EX PT FOR ST			
2426	N	DELAWARE	ST	1050786	Martindales Lincoln Park Add 3rd Sec L7 B15 EX PT FOR ST			
2429	N	DELAWARE	ST	1052438	Martindales Lincoln Park Add 3rd Sec L23 B16 EX PT FOR ST			
2430	N	DELAWARE	ST	1037765	Martindales Lincoln Park Add 3rd Sec L8 B15 EX PT FOR ST			
2432	N	DELAWARE	ST	1037757	Martindales Lincoln Park Add 3rd Sec L9 B15			
2433	N	DELAWARE	ST	1066750	Martindales Lincoln Park Add 3rd Sec L22 B16 EX PT FOR ST			
2438	N	DELAWARE	ST	1052730	Martindales Lincoln Park Add 3rd Sec L10 B15 EX PT FOR ST			
2441	N	DELAWARE	ST	1018778	Martindales Lincoln Park Add 3rd Sec L21 B16 EX PT FOR ST			
2445	N	DELAWARE	ST	1048207	Martindales Lincoln Park Add 3rd Sec L20 B16 EX PT FOR ST			
2446	N	DELAWARE	ST	1067134	Martindales Lincoln Park Add 3rd Sec L12 B15 EX PT FOR ST			
2447	N	DELAWARE	ST	1012205	Martindales Lincoln Park Add 3rd Sec L19 B16 EX PT FOR ST			
2449	N	DELAWARE	ST	1016114	Martindales Lincoln Park Add 3rd Sec L18 B16 EX PT FOR ST			
2450	N	DELAWARE	ST	1033328	Martindales Lincoln Park Add 3rd Sec L13 B15 EX PT FOR ST			
2501	N	DELAWARE	ST	1075490	Douglass Park Add L65 EX PT for ST			
2509	N	DELAWARE	ST	1075491	Douglass Park Add L66 EX PT for ST			
2511	N	DELAWARE	ST	1075492	Douglass Park Add L67 EX PT for ST			
2520	N	DELAWARE	ST	1031931	Douglass Park Add L60 EX PT for ST			
2535	N	DELAWARE	ST	1076320	Douglass Park Add L73 EX PT for ST			
2607	N	DELAWARE	ST	1020676	Douglass Park Add L79 EX PT for ST			
2211	N	NEW JERSEY	ST	1014692	Martindales Lincoln Park Add 1st Sec L29 B6			
2222	N	NEW JERSEY	ST	1067229	Martindales Lincoln Park Add 1st Sec L6 B5			
2232	N	NEW JERSEY	ST	1040574	Martindales Lincoln Park Add 1st Sec L8 B5			
2233	N	NEW JERSEY	ST	1026658	Martindales Lincoln Park Add 1st Sec L24 B6 EX 12IN S END			
2234	N	NEW JERSEY	ST	1017346	Martindales Lincoln Park Add 1st Sec L9 B5			
2239	N	NEW JERSEY	ST	1053869	Martindales Lincoln Park Add 1st Sec L23 B6			
2241	N	NEW JERSEY	ST	1012604	Martindales Lincoln Park Add 1st Sec L22 B6			
2252	N	NEW JERSEY	ST	1047209	Martindales Lincoln Park Add 1st Sec L13 B5			
2254	N	NEW JERSEY	ST	1009666	Martindales Lincoln Park Add 1st Sec L14 B5			
2255	N	NEW JERSEY	ST	1034807	Martindales Lincoln Park Add 1st Sec L19 B6			
2258	N	NEW JERSEY	ST	1013665	Martindales Lincoln Park Add 1st Sec L15 B5			
2259	N	NEW JERSEY	ST	1062926	Martindales Lincoln Park Add 1st Sec L18 B6			
2262	N	NEW JERSEY	ST	1046509	Martindales Lincoln Park Add 1st Sec L16 B5			
2301	N	NEW JERSEY	ST	1058898	Stevensons Sub L32 B7 EX 75FT E END			
2302	N	NEW JERSEY	ST	1063470	Martindales Lincoln Park Add 2nd Sec 90.32FT E END L1 B8			

**Declaration of Covenants and Restrictions of the Fall Creek Place
Development EXHIBIT 'A'**

2305	N	NEW JERSEY	ST	1058897	Stevensons Sub L31 B7 EX 75FT E END		
2311	N	NEW JERSEY	ST	1003761	Stevensons Sub L30 B7		
2320	N	NEW JERSEY	ST	1037929	Martindales Lincoln Park Add 2nd Sec L5 B8		
2324	N	NEW JERSEY	ST	1072273	Martindales Lincoln Park Add 2nd Sec L6 B8		
2326	N	NEW JERSEY	ST	1024295	Martindales Lincoln Park Add 2nd Sec L7 B8		
2330	N	NEW JERSEY	ST	1004562	Martindales Lincoln Park Add 2nd Sec L8 B8		
2342	N	NEW JERSEY	ST	1013331	Martindales Lincoln Park Add 2nd Sec L11 B8		
2344	N	NEW JERSEY	ST	1071801	Martindales Lincoln Park Add 2nd Sec L12 B8		
2350	N	NEW JERSEY	ST	1077785	Martindales Lincoln Park Add 2nd Sec L13 B8		
2356	N	NEW JERSEY	ST	1068146	Martindales Lincoln Park Add 2nd Sec L14 B8 EX 43.70FT X 1.5FT		
					NW COR		
2360	N	NEW JERSEY	ST	1068147	Martindales Lincoln Park Add 2nd Sec 34.5FT X 93.5FT SE PT L15 B8		
2415	N	NEW JERSEY	ST	1069427	Martindales Lincoln Park Add 3rd Sec L27 B18		
2417	N	NEW JERSEY	ST	1056718	Martindales Lincoln Park Add 3rd Sec L26 B18		
2419	N	NEW JERSEY	ST	1005633	Martindales Lincoln Park Add 3rd Sec L24 B18		
2424	N	NEW JERSEY	ST	1049504	Martindales Lincoln Park Add 3rd Sec L6 B17		
2425	N	NEW JERSEY	ST	1052728	Martindales Lincoln Park Add 3rd Sec L25 B18		
2434	N	NEW JERSEY	ST	1010453	Martindales Lincoln Park Add 3rd Sec L8 B17		
2436	N	NEW JERSEY	ST	1010454	Martindales Lincoln Park Add 3rd Sec L9 B17		
2437	N	NEW JERSEY	ST	1025170	Martindales Lincoln Park Add 3rd Sec L22 & 2FT S SIDE L21 B18		
2439	N	NEW JERSEY	ST	1029819	Martindales Lincoln Park Add 3rd Sec 39FT N SIDE L21 & 2FT S		
2440	N	NEW JERSEY	ST	1010455	Martindales Lincoln Park Add 3rd Sec L10 B17		
2443	N	NEW JERSEY	ST	1016382	Martindales Lincoln Park Add 3rd Sec L20 B18 EX 2FT SL		
2446	N	NEW JERSEY	ST	1055990	Martindales Lincoln Park Add 3rd Sec L11 B17		
2449	N	NEW JERSEY	ST	1011731	Martindales Lincoln Park Add 3rd Sec L19 B18		
2450	N	NEW JERSEY	ST	1055368	Martindales Lincoln Park Add 3rd Sec L12 & 5FT S SIDE L13 B17		
2453	N	NEW JERSEY	ST	1012318	Martindales Lincoln Park Add 3rd Sec L18 B18		
2454	N	NEW JERSEY	ST	1053791	Martindales Lincoln Park Add 3rd Sec L13 B17 EX 5FT S SIDE		
2456	N	NEW JERSEY	ST	1037152	Martindales Lincoln Park Add 3rd Sec L14 B17		
2457	N	NEW JERSEY	ST	1020997	Martindales Lincoln Park Add 3rd Sec 39FT WL 34FT EL S SIDE		
2459	N	NEW JERSEY	ST	1023877	Martindales Lincoln Park Add 3rd Sec L16 & 5FT N OF 50FT E		
2460	N	NEW JERSEY	ST	1033709	Martindales Lincoln Park Add 3rd Sec L15 B17		
					SIDE L20 B18		
					L17 B18		
					END L17 & 2FT N OF 82.6FT E SIDE L17 B18		
2518	N	NEW JERSEY	ST	1069147	Douglass Park ADD L147		
2233	N	PARK	ST	1061451	Bruce Place Add 25FT N SIDE L23 & 13.9FT S SIDE L22		
2401	N	PARK	AV	1042590	J A & M Bruces Add 82FT W END L78		
2402	N	PARK	AV	1094001	J A & M Bruces Add 97.5FT E END L99		
2419	N	PARK	AV	1043158	J A & M Bruces Add L81		
2424	N	PARK	AV	1004883	J A & M Bruces Add L97		
2426	N	PARK	AV	1067371	J A & M Bruces Add L96		
2428	N	PARK	AV	1023365	J A & M Bruces Add L95		
2463	N	PARK	AV	1088602	J A & M Bruces Add 72FT W END OF 34FT S SIDE L88		
2467	N	PARK	AV	1061560	J A & M Bruces Add 34FT N SIDE OF 72FT W END L88		
2525	N	PARK	AV	1070766	Wrights Park Ave Add L5		
2539	N	PARK	AV	1011624	Wrights Park Ave Add L7		
2207	N	PENNSYLVANIA	AV	1069098	Martindales Lincoln Park Add 1st Sec L31 B2		
2227	N	PENNSYLVANIA	AV	1068628	Martindales Lincoln Park Add 1st Sec L26 B2		
2235	N	PENNSYLVANIA	AV	1006180	Martindales Lincoln Park Add 1st Sec L24 B2		
2239	N	PENNSYLVANIA	AV	1049144	Martindales Lincoln Park Add 1st Sec L23 B2		

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2247	N	PENNSYLVANIA	AV	1063746	Martindales Lincoln Park Add 1st Sec L21 B2		
2251	N	PENNSYLVANIA	AV	1062120	Martindales Lincoln Park Add 1st Sec L20 B2		
2255	N	PENNSYLVANIA	AV	1006146	Martindales Lincoln Park Add 1st Sec L19 B2		
2263	N	PENNSYLVANIA	AV	1011040	Martindales Lincoln Park Add 1st Sec 90FT W END L17 B2		
2301	N	PENNSYLVANIA	AV	1074915	Martindales Lincoln Park Add 2nd Sec L32 B11		
2305	N	PENNSYLVANIA	AV	1024310	Martindales Lincoln Park Add 2nd Sec L31 B11		
2311	N	PENNSYLVANIA	AV	1041595	Martindales Lincoln Park Add 2nd Sec L30 B11		
2315	N	PENNSYLVANIA	AV	1004690	Martindales Lincoln Park Add 2nd Sec L29 B11		
2317	N	PENNSYLVANIA	AV	1047149	Martindales Lincoln Park Add 2nd Sec L28 B11		
2323	N	PENNSYLVANIA	AV	1073485	Martindales Lincoln Park Add 2nd Sec L27 B11		
2327	N	PENNSYLVANIA	AV	1008922	Martindales Lincoln Park Add 2nd Sec L26 B11		
2335	N	PENNSYLVANIA	AV	1036138	Martindales Lincoln Park Add 2nd Sec L24 B11		
2339	N	PENNSYLVANIA	AV	1067610	Martindales Lincoln Park Add 2nd Sec L23 B11		
2342	N	PENNSYLVANIA	AV	1017568	Martindales Lincoln Park Add 2nd Sec L11 B11		
2343	N	PENNSYLVANIA	AV	1035400	Martindales Lincoln Park Add 2nd Sec L22 B11		
2347	N	PENNSYLVANIA	AV	1060658	Martindales Lincoln Park Add 2nd Sec L21 B11		
2350	N	PENNSYLVANIA	AV	1019854	Martindales Lincoln Park Add 2nd Sec L13 B11		
2351	N	PENNSYLVANIA	AV	1036131	Martindales Lincoln Park Add 2nd Sec L20 B11		
2355	N	PENNSYLVANIA	AV	1011655	Martindales Lincoln Park Add 2nd Sec L19 B11		
2356	N	PENNSYLVANIA	AV	1023100	Martindales Lincoln Park Add 2nd Sec L14 B11		
2360	N	PENNSYLVANIA	AV	1004616	Martindales Lincoln Park Add 2nd Sec L15 B12		
2361	N	PENNSYLVANIA	AV	1060729	Martindales Lincoln Park Add 2nd Sec L18 B11		
2363	N	PENNSYLVANIA	AV	1060728	Martindales Lincoln Park Add 2nd Sec L17 B12		
2364	N	PENNSYLVANIA	AV	1064945	Martindales Lincoln Park Add 2nd Sec 91FT E END L16 B12		
2405	N	PENNSYLVANIA	AV	1044195	Martindales Lincoln Park Add 3rd Sec L29 B14		
2409	N	PENNSYLVANIA	AV	1044195	Martindales Lincoln Park Add 3rd Sec L28 B14		
Address	Street Name	ID	Parcel #	Legal Description			
2415	N	PENNSYLVANIA	AV	1076281	Martindales Lincoln Park Add 3rd Sec L27 B14		
2417	N	PENNSYLVANIA	AV	1070464	Martindales Lincoln Park Add 3rd Sec L26 B14		
2421	N	PENNSYLVANIA	AV	1056554	Martindales Lincoln Park Add 3rd Sec L25 B14		
2425	N	PENNSYLVANIA	AV	1067055	Martindales Lincoln Park Add 3rd Sec L24 B14		
2429	N	PENNSYLVANIA	AV	1029264	Martindales Lincoln Park Add 3rd Sec L23 B14		
2434	N	PENNSYLVANIA	AV	1011718	Martindales Lincoln Park Add 3rd Sec L9 B13		
2435	N	PENNSYLVANIA	AV	1018186	Martindales Lincoln Park Add 3rd Sec L22 B14		
2437	N	PENNSYLVANIA	AV	1021887	Martindales Lincoln Park Add 3rd Sec L21 B14		
2443	N	PENNSYLVANIA	AV	1039093	Martindales Lincoln Park Add 3rd Sec L20 B14		
2445	N	PENNSYLVANIA	AV	1033329	Martindales Lincoln Park Add 3rd Sec L19 B14		
2449	N	PENNSYLVANIA	AV	1008279	Martindales Lincoln Park Add 3rd Sec L18 B14		
2454	N	PENNSYLVANIA	AV	1075223	Martindales Lincoln Park Add 3rd Sec L14 B13		
2455	N	PENNSYLVANIA	AV	1058529	Martindales Lincoln Park Add 3rd Sec L17 B14		
2503	N	PENNSYLVANIA	AV	1058068	Douglass Park Add L8		
2505	N	PENNSYLVANIA	AV	1098449	Douglass Park Add L9		
2506	N	PENNSYLVANIA	AV	1052409	Douglass Park Add L6		
2509	N	PENNSYLVANIA	AV	1030417	Douglass Park Add L10		
2510	N	PENNSYLVANIA	AV	1072806	Douglass Park Add L5		
2514	N	PENNSYLVANIA	AV	1061093	Douglass Park Add L4 EX TRI TR NW COR		
2516	N	PENNSYLVANIA	AV	1079040	Douglass Park Add L3 EX 40.55FT NL 13.844FT SL W END		
2519	N	PENNSYLVANIA	AV	1011585	Douglass Park Add L12		
2537	N	PENNSYLVANIA	AV	1013022	Douglass Park Add L17		
2205	N	TALBOTT	ST	1088200	Martindales Lincoln Park Add 1st Sec L31 B3		
2206	N	TALBOTT	ST	1074518	Martindales Lincoln Park Add 1st Sec EX 53FT W END L2 B2		
2209	N	TALBOTT	ST	1061826	Martindales Lincoln Park L30 B3		

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2210	N	TALBOTT	ST	1058523	Martindales Lincoln Park Add 1st Sec L3 B2		
2214	N	TALBOTT	ST	1066364	Martindales Lincoln Park Add 1st Sec L4 B2		
2237	N	TALBOTT	ST	1066303	Martindales Lincoln Park Add 1st Sec L23 B3		
2249	N	TALBOTT	ST	1053664	Martindales Lincoln Park Add 1st Sec L20 B3		
2250	N	TALBOTT	ST	1077782	Martindales Lincoln Park Add 1st Sec L13 B2		
2254	N	TALBOTT	ST	1007791	Martindales Lincoln Park Add 1st Sec L14 B2		
2255	N	TALBOTT	ST	1073289	Martindales Lincoln Park Add 1st Sec L19 B2		
2257	N	TALBOTT	ST	1045168	Martindales Lincoln Park Add 1st Sec L13 B3		
2258	N	TALBOTT	ST	1065569	Martindales Lincoln Park Add 1st Sec L15 BK2		
2261	N	TALBOTT	ST	1066998	Martindales Lincoln Park Add 1st Sec L17 B3		
2264	N	TALBOTT	ST	1051494	Martindales Lincoln Park Add 1st Sec L16 B2		
2301	N	TALBOTT	ST	1057114	Martindales Lincoln Park Add 2nd Sec L32 B10		
2302	N	TALBOTT	ST	1066997	Martindales Lincoln Park Add 2nd Sec L1 B11		
2305	N	TALBOTT	ST	1062322	Martindales Lincoln Park Add 2nd Sec L31 B10		
2306	N	TALBOTT	ST	1037416	Martindales Lincoln Park Add 2nd Sec L2 B11		
2307	N	TALBOTT	ST	1037905	Martindales Lincoln Park Add 2nd Sec L30 B10		
2310	N	TALBOTT	ST	1020488	Martindales Lincoln Park Add 2nd Sec L3 B11		
2314	N	TALBOTT	ST	1015669	Martindales Lincoln Park Add 2nd Sec L4 B11		
2318	N	TALBOTT	ST	1006560	Martindales Lincoln Park Add 2nd Sec L5 B11		
2324	N	TALBOTT	ST	1038016	Martindales Lincoln Park Add 2nd Sec L6 B11		
2325	N	TALBOTT	ST	1018444	Martindales Lincoln Park Add 2nd Sec L26 B10		
2329	N	TALBOTT	ST	1024122	Martindales Lincoln Park Add 2nd Sec L25 B10		
2333	N	TALBOTT	ST	1016568	Martindales Lincoln Park Add 2nd Sec L24 B10		
2342	N	TALBOTT	ST	1083126	Martindales Lincoln Park Add 2nd Sec L11 B11		
2345	N	TALBOTT	ST	1077786	Martindales Lincoln Park Add 2nd Sec L21 B10		
2346	N	TALBOTT	ST	1007857	Martindales Lincoln Park Add 2nd Sec L12 B11		
2348	N	TALBOTT	ST	1008355	Martindales Lincoln Park Add 2nd Sec L13 B11		
2349	N	TALBOTT	ST	1069091	Martindales Lincoln Park Add 2nd Sec L20 B10		
2353	N	TALBOTT	ST	1066836	Martindales Lincoln Park Add 2nd Sec L19 B10		
2354	N	TALBOTT	ST	1072860	Martindales Lincoln Park Add 2nd Sec L14 B11		
2358	N	TALBOTT	ST	1029762	Martindales Lincoln Park Add 2nd Sec L15 B11		
2357	N	TALBOTT	ST	1075465	Martindales Lincoln Park Add 2nd Sec L18 B10		
2363	N	TALBOTT	ST	1058526	Martindales Lincoln Park Add 2nd Sec 97.62FT S LINE W END L17 B10		
2401	N	TALBOTT	ST	1030065	Martindales Lincoln Park Add 3rd Sec 80.6FT NL 84FT SL W END L30 B15		
2407	N	TALBOTT	ST	1080476	Martindales Lincoln Park Add 3rd Sec L29 B15		
2413	N	TALBOTT	ST	1053525	Martindales Lincoln Park Add 3rd Sec L28 B15		
2414	N	TALBOTT	ST	1076598	Martindales Lincoln Park Add 3rd Sec L4 B14		
2419	N	TALBOTT	ST	1008826	Martindales Lincoln Park Add 3rd Sec L26 B15		
2420	N	TALBOTT	ST	1056452	Martindales Lincoln Park Add 3rd Sec L5 B14		
2423	N	TALBOTT	ST	1032850	Martindales Lincoln Park Add 3rd Sec L25 B15		
2424	N	TALBOTT	ST	1015213	Martindales Lincoln Park Add 3rd Sec L6 B14		
2427	N	TALBOTT	ST	1007863	Martindales Lincoln Park Add 3rd Sec L24 B15		
2428	N	TALBOTT	ST	1077787	Martindales Lincoln Park Add 3rd Sec L7 B14		
2431	N	TALBOTT	ST	1017111	Martindales Lincoln Park Add 3rd Sec L23 B15		
2432	N	TALBOTT	ST	1018883	Martindales Lincoln Park Add 3rd Sec L8 B14		
Address	Street Name	ID	Parcel #	Legal Description			
2435	N	TALBOTT	ST	1002150	Martindales Lincoln Park Add 3rd Sec L22 B15		
2436	N	TALBOTT	ST	1035288	Martindales Lincoln Park Add 3rd Sec L9 B14		
2439	N	TALBOTT	ST	1077789	Martindales Lincoln Park Add 3rd Sec L21 B15		
2440	N	TALBOTT	ST	1060487	Martindales Lincoln Park Add 3rd Sec L10 B14		

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2443	N	TALBOTT	ST	1048063	Martindales Lincoln Park Add 3rd Sec L20 B15		
2444	N	TALBOTT	ST	1017849	Martindales Lincoln Park Add 3rd Sec L11 B14		
2447	N	TALBOTT	ST	1008019	Martindales Lincoln Park Add 3rd Sec L19 B15		
2448	N	TALBOTT	ST	1062771	Martindales Lincoln Park Add 3rd Sec L12 B14		
2451	N	TALBOTT	ST	1019440	Martindales Lincoln Park Add 3rd Sec L18 B15		
2452	N	TALBOTT	ST	1077788	Martindales Lincoln Park Add 3rd Sec L13 B14		
2454	N	TALBOTT	ST	1062442	Martindales Lincoln Park Add 3rd Sec L14 B14		
2458	N	TALBOTT	ST	1022079	Martindales Lincoln Park Add 3rd Sec 93FT E END L15 B14		
2502	N	TALBOTT	ST	1077396	Douglass Park Add 93.5FT E END L30		
2504	N	TALBOTT	ST	1077395	Douglass Park Add 93.5FT E END L29		
2510	N	TALBOTT	ST	1009723	Douglass Park Add L28		
2517	N	TALBOTT	ST	1025541	Douglass Park Add L35		
2521	N	TALBOTT	ST	1050023	Douglass Park Add L36		
2525	N	TALBOTT	ST	1071776	Douglass Park Add L37		
2529	N	TALBOTT	ST	1005468	Douglass Park Add S1/2 L38		
2531	N	TALBOTT	ST	1099739	Douglass Park Add N1/2 L38		
2533	N	TALBOTT	ST	1047882	Douglass Park Add L39		
2534	N	TALBOTT	ST	1037835	Douglass Park Add L22		
2538	N	TALBOTT	ST	1028689	Douglass Park Add L21		
2541	N	TALBOTT	ST	1013558	Douglass Park Add L41		
115	E	FALL CREEK PW	DR	1057167	Douglass Park Add LOT C		

EXHIBIT B



FALL CREEK PLACE



DESIGN GUIDELINES

Final Draft: August 27, 2001

Fall Creek Place and its agent, Mansur Real Estate Services, Inc. reserve the right to make any modifications to the Design Guidelines that is deems necessary without notice. All information provided is considered confidential and proprietary. Copying, distributing or divulging this information in whole or in part is prohibited without the express written consent of the owner or its agent.

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Exhibit C Required Lot Sign
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Exhibit E Required Mail Box
Exhibit F Required Address Marker

1. GENERAL OVERVIEW

1.1 INTRODUCTION

The redevelopment of Fall Creek Place involves the building of approximately three hundred forty (340) new homes that will comprise of single family detached homes and attached townhomes. In addition, approximately forty-six (46) existing homes are slated for rehabilitation. The overall map and master plan for Fall Creek Place is provided in Exhibit B for reference. Coupled with the revitalization of commercial nodes, the existing features and design remnants of a turn of the century urban neighborhood has been planned with "new urbanism" design principles to provide a guiding blueprint for the revitalization of Fall Creek Place.

These Guidelines do not seek to impose an overriding style or an artificial theme, however, they will assist the City of Indianapolis in successfully re-establishing positive design character inherent in this neighborhood during the early 1900's.

1.2 INTENT OF GUIDELINES

The intent of these Guidelines is to establish minimum standards of design consistent with the level of development, character, and quality desired for Fall Creek Place. The requirements are intended to assist developers, contractors and homeowners in the planning, design and construction of site improvements, homes and to establish and maintain a neighborhood community image that is consistent with the Master Plan in place for Fall Creek Place.

The Design Guidelines are not a "building code," but rather recommendations for quality design. They are the criteria by which house plans will be reviewed and approved or disapproved and, therefore, will be carefully followed. It should be noted, however, that there are certain requirements, which may not be deviated from.

These Guidelines apply to all properties within Fall Creek Place including, and are in addition to the requirements of government jurisdictions. They will serve as the basis for review of residential construction by the Design Review Committee (DRC) as defined by the Fall Creek Place Homeowners Association documents. All standards set forth herein are subject to the criteria established in current Federal, State, or local regulations, whichever is most restrictive. These guidelines shall not impose any requirements in violation of applicable Federal, State, or local regulations.

In addition, the DRC shall review plans of all proposed modifications, additions or alterations made to existing units, structures, or open space areas.

These Guidelines are intended to serve for the life of the project and accordingly may be amended by the Fall Creek Place Homeowners Association. Such amendments will be adopted as addenda to this document. The DRC reserves the right to waive or vary any of the procedures or standards set forth herein at its sole discretion for good cause shown. As an example, but not limited to, it may consider individually the merits of any project due to special site conditions. Any project reviewed for special consideration must be shown to benefit the specific site, adjacent areas, or the neighborhood community as a whole and any such waiver must be in writing prior to commencement of improvements.

By encouraging quality and attention to detail throughout the neighborhood community, the aesthetic harmony, natural tranquility and overall historical significance of the neighborhood community standards at Fall Creek Place will be enhanced and preserved through the DRC and Design Guidelines.

It should be noted that a separate Builder's Guide for New Construction was prepared offering a more illustrative detailed guide for new residential construction. This guide is presented within the Design Guidelines as Exhibit A and will be referenced throughout the Design Guideline documents.

1.3 OVERALL DESIGN CONCEPT

Fall Creek Place will have a neighborhood community image and identity in harmony with the physical characteristics of the area, and a visual frame of reference. This visual framework consists of the streetscape; design treatment of public and private spaces (residences, open spaces, parks, etc.); and the expression of architecture and the built environment.

All of these elements are viewed from one common denominator: generally, to create harmony between an existing urban fabric and new elements to ensure that all new structures and uses are compatible with the prevailing historic character in the surrounding area.

In responding to the Fall Creek Place development, compatible designs should not seek to imitate the historic architecture found in Fall Creek Place, but should instead reflect their surroundings in terms of mass, scale, color, materials, and building arrangement. It is imperative to recognize the character of the site and the surrounding area. The diversity of land uses identified in the site analysis indicated that Fall Creek Place was once a thriving urban neighborhood, complete with civic and commercial uses providing support to its residents.

The Design Guidelines play a vital role in revitalizing Fall Creek Place development by identifying conditions where design opportunities and potentials exist. The elements of sequence, hierarchy, and their application through design treatment are influencing factors that contribute to the clarity of destination, arrival, and decision making for the traveler of the streets. Significant public input was obtained during the master planning process. A total of ten overall guiding principles should drive future physical improvements to the Fall Creek Place neighborhood. These are listed below:

1. **Residential Land Use.** Renovate selected existing homes and provide new housing options in varied price ranges while maintaining an architectural identity.
2. **Commercial Land Use.** Establish active commercial districts of appropriate scale and architecture in logical locations to bring neighborhood services and businesses to residents of Fall Creek Place.
3. **Civic Land Use.** Encourage existing civic uses including churches, schools, and community organizations to remain while new civic uses are established within the neighborhood engaging residents in local events.
4. **Surface Parking Lots.** Reevaluate existing surface parking lot areas for needed improvement, and identify new surface parking areas to serve commercial businesses and civic uses.
5. **Open Space and Parks.** Enhance existing open spaces and develop new parks centrally located recognizing the need for passive, active, and social recreation areas further enhancing the quality of neighborhood life.
6. **Gateways.** Identify existing and potential gateway opportunities at significant entrance locations throughout the study area to establish a sense of community and arrival within Fall Creek Place.
7. **Vehicular Traffic.** Maintain existing vehicular traffic flow directions and lanes and suggest improvements for driver clarification. Improve pedestrian safety and enhance the streetscape along corridors.
8. **Street Design Hierarchy.** Maintain existing street hierarchy while considering right-of-way and pavement width, number of traffic and parking lanes, traffic speed, signalized intersections, and alignment.

9. Pedestrian Traffic. Maintain existing pedestrian sidewalk widths, locations, and relationships to streets. The existing network functions well within the context of the historic grid layout.
10. On-Street Parking. Existing on-street parking functions well along the urban streetscape and should remain in place along streets for the convenience of residents and visitors.

2 APPLICATION PROCEDURES

2.1 INTRODUCTION

The application procedure of the DRC is intended to provide qualitative reviews in a timely manner. Submittal requirements for specific development phases will be prescribed by the DRC and promulgated as addenda to these guidelines.

The application process consists generally of

1. An architectural review phase,
2. A landscape review phase,
3. A construction period site review phase.

In the interest of expediting construction activity, the DRC may combine or alter the above phases of the review process at its discretion. The DRC possesses the authority to pre-approve sets of home or building plans where appropriate for a project involving a limited number of building styles, elevations, materials, etc. An appeals process has also been established by the DRC. (See 2.7)

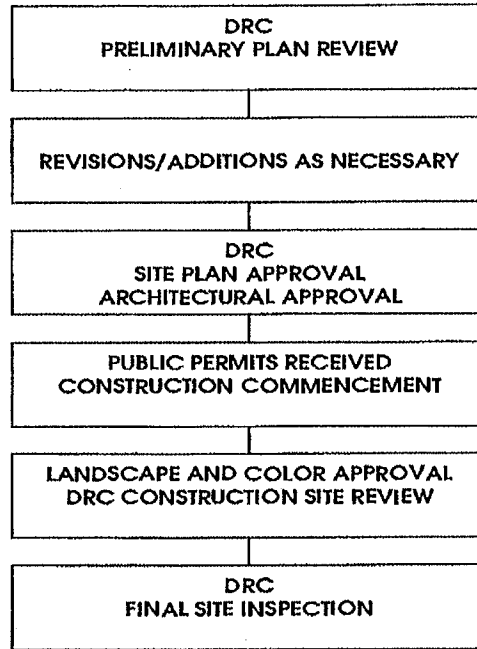
2.2 REVIEW PROCEDURES

In general, any physical improvement within Fall Creek Place that is visible from the street front of the residence will require approval of the DRC. Approval of plans by the DRC does not release the Applicant from compliance with local, state and federal permit processes. The DRC may approve the submittal outright, may provide conditional approval with a list of items to be addressed during later stages of design or construction and may request resubmittal with a list of specific items to be addressed.

2.3 SCHEDULE

Prior to preparation of a design submittal package, it is suggested that the Applicant, and/or his consultants, meet with a representative of the DRC to review and clarify these Design Guidelines, the characteristics of the particular building site, and technical issues related to review procedures. Five (5) complete sets of plans shall be submitted for review. One set shall be retained for the DRC's files and the remaining four sets shall be returned to the applicant. These four sets will be required by the applicable building permit agency. The Applicant should submit required design review information to the DRC at least

three (3) business days prior to the next scheduled DRC meeting. A schedule of these meeting dates will be made available.



The DRC will strive to take action on design review submittals within fourteen (14) business days upon submittal by each respective builder, but may take up to thirty (30) calendar days in accordance with the recorded documents of Fall Creek Place. If, in the opinion of the DRC, the submittal complies with the Design Guidelines, written approval shall be granted. If the submittal is found not to be in compliance with the Design Guidelines, the DRC shall provide the Applicant with a written description of the aspects in which the Submittal does not comply. The Applicant must then present required revisions to the DRC and follow the same review procedures. However, the DRC may issue a conditional approval in writing noting that certain aspects of the plans submitted will still require DRC review and approval.

2.4 DESIGN REVIEW FEES

The DRC reserves the right to establish and collect fees for the review of plans. Such fees, if any, will be posted through an addendum to these Design Guidelines.

2.5 SUBMITTAL REQUIREMENTS

Submission shall include the following information; however, the DRC will determine on a lot by lot basis if the actual submittal requirements should vary. Submissions should be made on 11" x 17" white paper. All drawings should be scalable, with scale clearly identified. **It should be noted that applicants will not be able to pull a building permit from the City of Indianapolis without a set of stamped plans from the Design Review Committee for any residential construction in Fall Creek Place.**

1. Site Development Plan indicating:

- Name of owner and owner's consultant(s), date of submittal, and lot designation
- Scale and north arrow
- Property boundaries and easements
- Location of existing structures or other improvements, if applicable
- Location, size, and type of all existing plant material, if applicable, including any existing vegetation which would be removed or altered.
- Location of trunks and outer edge of canopy on all trees in excess of four inch (4") caliper, if applicable
- Proposed building location(s) with related setbacks
- Driveway, walks, and parking layout with related setbacks
- Fence locations, heights, description and materials
- Exterior lighting types descriptions and locations, including yard lights
- Proposed utilities locations, if applicable

2. **Architectural Plans** including:
 - Elevation Drawings, including all four (4) sides of building plus a front and side elevation of the garage. Elevations must specify all exterior materials used, including siding, roofing, foundation wall, decorative siding type, porch details, and trim type with dimensions where appropriate. Elevation plans should also call out window type, door type, roof pitch, depths of eaves, and floor to floor heights.
 - Floor Plans, which shall include the square footage of finished living space for each floor, basements, and porches of the home on respective sheet.
3. **Landscape Plan.** Applicant shall submit the landscaping plan within two months of acquiring lot. Landscaping package should be completed within six months of acquiring lot. In the event of inclement season, landscaping should be completed no later than May 10 of the following year. The landscape plan should include:
 - Location, size, and botanical name of all trees, shrubs, and ground covers to be added.
 - Location of all annual and perennial flower bed areas.
 - Delineation of seed/sod areas.
 - Street trees and yard light required by developer.
4. **Color/Sample Board.** A sample board should be provided with indication of all exterior finish materials and colors. Color boards should include samples for all siding, decorative siding, brick type, foundation wall, trim details, porch details, and roof shingles.

2.6 CONSTRUCTION PERIOD AND PROJECT REVIEW

An ongoing periodic review of the construction of the Project will be undertaken by DRC staff representative(s) for the purpose of monitoring progress of the Project, and to ensure conformity with design plans previously approved by the DRC. Any deviations, which are significant, in the sole opinion of the DRC, will be brought to the Applicant's attention by written notification along with the measures that the DRC requires to mitigate or resolve the deviation.

2.7 APPEAL PROCEDURES

If the Applicant wishes to appeal any decision of the DRC, applicant may do so by first submitting a written appeal to the DRC. The DRC will provide the

Applicant with reasonable notice and time of the meeting at which the Applicant's appeal will be reviewed. The Applicant will have the opportunity to attend this meeting and be heard prior to the DRC rendering a decision. Within seven (7) days after such meeting on the applicant's appeal, the DRC shall give notice in writing of its final decision to both the Applicant and the Fall Creek Place Homeowner's Association.

The Applicant may further appeal the decision of the DRC within seven (7) days following the date of notice of the DRC appeal decision as follows: The Applicant's appeal is made to the Fall Creek Place Homeowners Association Board of Directors. Reasonable notice will be given to the Applicant of the meeting at which the appeal will be reviewed. The Applicant will have an opportunity to be heard prior to the Board rendering a decision, provided applicant attends the scheduled meeting. The Board will review the Applicant's appeal at their next regularly scheduled meeting following the filing of the appeal. Failure of the Board to act within forty-five (45) calendar days from the date of filing will constitute approval. The Board will document in writing reasons for not granting an approval if that is the outcome of their review.

2.8 AMENDMENT PROCESS

These Design Guidelines may be updated and amended from time to time, through a unanimous agreement by the DRC. Upon such agreement, the DRC shall be responsible for creating a written addendum to the Design Guidelines, identifying changes made. All written addenda shall be numbered (i.e., Addendum 1, Addendum 2, etc.) and have a date identifying when such addenda was added. The DRC must present all addenda to the Fall Creek Place Homeowner's Association, and receive approval by the Fall Creek Place Homeowner's Association Board of Directors.

All addenda shall be added to the Design Guidelines and become incorporated into the Design Guidelines. The DRC will have the responsibility to record all addenda through the Marion County Recorder's Office, and all addenda shall not become enforceable until such recording is completed.

3 SITE LAYOUT AND LANDSCAPE GUIDELINES

3.1 SITE DESIGN AND SPACING

The DRC seeks to ensure that each residence works within the existing home sites in the best possible manner. Architecture, setbacks, and building orientation should complement the existing streetscape rhythm. The site plan concept developed for each home site should reflect functional needs but also be sensitive to the neighborhood's characteristics. The orientation and massing of houses will be viewed from many different angles along the streets within Fall Creek Place. The DRC shall consider each site independently but shall give extensive consideration to each individual plan's impact upon adjacent home sites and streetscape, massing, setbacks and the building heights.

Generally, front yard setbacks shall be between ten feet (10') and twenty-five feet (25') from the existing right-of-way. Side yard setbacks should have an aggregate minimum of ten feet (10'), with no side yard setback less than four feet (4'). Rear yard setbacks for garages shall be fifteen feet (15'), however, builders may seek a variance to allow for a smaller setback to provide greater rear yard space, providing rear setback is at least five feet (5') from alley.

Refer to the Builder's Guide for New Construction (Exhibit A) pages 5-7 for details and illustrations regarding appropriate setbacks, spacing, and building orientation.

3.2 BUILDING HEIGHTS AND PROPORTIONS

The basic outline and proportions of all new construction must be sensitive to the outlines of homes in the community. Roof shapes should create shapes or patterns consistent with the neighborhood context. Similarly, the basic proportions of window and door orientation should be compatible with the general architectural style of the building. Foundation heights must also be consistent with the overall context of the neighborhood, which generally means entrances shall be raised in a consistent manner.

Refer to the Builder's Guide for New Construction (Exhibit A) pages 8-11 for details and illustrations regarding appropriate building height, outline, fenestration, and foundation heights.

3.3 PARKING

On-street parking is allowed on the local neighborhood streets where designated and approved by governing review agencies having jurisdiction.

No curb cuts are permitted along the street front. All garages must be accessed from the rear alley. On corner lots, a garage may be accessible from the side street, providing such configuration meets local codes.

A garage is strongly recommended for all single family detached homes in Fall Creek Place. With the exception of corner lots, all garages would be detached garages accessible from the alley. The DRC shall consider exceptions on a case by case basis where a parking pad may be substituted in lieu of a garage to meet the criteria for affordable housing. Parking pads are also acceptable for all attached townhome units built in Fall Creek Place. The DRC shall have the rights to limit and restrict the location of all homes that will not have garages.

When a parking pad is substituted for a garage, the parking pad must be constructed with a turned down slab that would be able to accommodate a future garage should the owner opt to construct one in the future. Parking pads must also include parking bumpers and a minimum 36" high landscaped buffer surrounding three sides of the parking pad.

Garages must be constructed using a consistent design acceptable to the DRC. Garage construction will have more flexible standards than the primary dwelling unit, however, the design and appearance should be consistent with the home. Refer to Section 4.10 for specific detail about the physical design considerations for garages.

Garage and parking pad setbacks shall also be consistent with the overall setback lines in the neighborhood. Generally, this shall be a setback of fifteen feet (15') from the edge of the paved alley.

Temporary or permanent parking of any kind of motorized vehicle in the front, side and rear yards or on front porches is prohibited. Parking is restricted to pre-approved garages, parking pads, garage aprons, and on-street designated parking spaces.

3.4 DRIVEWAYS

Driveways for residential units should be concrete, although asphalt, exposed aggregate or other hard surface materials may be utilized with DRC approval prior to installation. In no event will gravel driveways be allowed. With the

3.7 LANDSCAPING

A landscaping plan for each newly built home must be approved by the DRC. The predominant design theme for Fall Creek Place is that of traditional streetscape with strategically located trees along streets, alleys, and yards throughout the neighborhood community. A palette of hardy indigenous, hardwoods and naturalized plant material is preferred. Deciduous trees, rather than conifers, is the more dominant tree type. All unpaved areas should be landscaped with trees, shrubs, and ground cover plantings. Large areas of gravel, bark mulch, or bare soil are prohibited.

1. **Sodding and Seeding.** All front yards and side yards should be established through sodding. Future repairs and improvements can be made by seeding, providing no bare soil remains for a prolonged period of time. Rear yards are also preferred to be sodded, however, seeding is also acceptable as the minimum requirement.
2. **Front Yard Landscaping.** All front yards shall have the following minimum landscaping requirements:
 - 1 deciduous shade tree, minimum two and one half inch (2-1/2") caliper measured one foot (1) above grade ("Street Tree"). Street Tree shall be planted between three and five feet (3' to 5') from the front property line as defined by the edge of the public sidewalk, in an acceptable location to the DRC that aligns with street trees planted within the public right-of-way.
 - 1 flowering tree, minimum one inch (1") caliper measured one foot (1) above grade ("Front Yard Tree").
 - 8 foundation shrubs, minimum eighteen inch (18") (spread foundation plantings).

Ornamental, fruit, evergreen, and other deciduous trees may be planted elsewhere on the property, but shall not be planted between the sidewalk and the curb and do not constitute satisfaction of the minimum requirements of this section.

3. **Side Yard Landscaping.** For homes on a corner lot, the front yard landscaping requirements identified above shall also apply to the side yard. The Street Tree shall be planted on the property line along the street in an acceptable location to the DRC that aligns with any street trees planted within the public right-of-way.
4. **Irrigation.** Where irrigation is installed, the use of innovative, water efficient irrigation systems is strongly encouraged and

exception of corner lots and the potential attached garages accessible from the side street, all driveways shall extend from the alley only.

3.5 WALKS

All houses shall install front walks from the front porch to the public walk at street. Walks shall be concrete only, and must run parallel to the north/south property line of the home. All walks shall be a minimum width of three feet (3'). Walks in the rear yard are acceptable, but not required.

3.6 FENCING AND WALLS

All fencing and walls are subject to DRC approval prior to installation.

Special consideration should be given to the design, placement, impact and views of a wall or fence from neighboring home sites. Fencing should be considered as a design element to enclose and define courtyards and other private spaces, provide security, and relate building forms to the landscape.

Any fencing used in the front yard must be between thirty-six inches (36") to forty-two inches (42") in height. Front yard fencing must be open spaced pickets and may not be a privacy fence.

Privacy fencing may be used in the rear yard, but must be no greater than six feet (6') in height. If a privacy fence is utilized, it should stop at approximately the mid-point between the front and rear of the home.

It is recommended that any solid walls be constructed of the same materials found in the architecture of the residence.

No chain link or welded wire fencing will be permitted within the neighborhood community. No fence may be erected within landscape easements, utility, or other easements, abutting or adjacent to parks.

If an open spaced picket fence is to be installed along a landscape easement, it must be erected on the inside of the landscape easement as defined by the edge of the landscape or right-of-way easement that is farthest from the adjoining street and nearest the residence.

Refer to the Builder's Guide for New Construction (Exhibit A), page 12 for supplemental graphic details on fencing.

recommended. All irrigation systems are to be below ground, fully automated systems in compliance with all applicable building code requirements. All backflow control devices are to be located or screened so that they are not visible from the streets.

3.8 LIGHTING

All homes shall be required to have at least one (1) porch light mounted near the front door, and one (1) pole-mounted yard light. Yard lights shall be located no further than three feet (3') from the front yard property line and should be positioned adjacent to the walk connecting the front porch to the public sidewalk. Yard lights should also be equipped with a standard dusk to dawn light. Porch lights and yard lights should be black. All bulbs should be white or clear. No colored bulbs or lenses are permitted. Specifications for lighting are provided in Exhibit D.

A light is also required to be mounted to the garage facing the rear alley. The alley light should also be equipped with a standard dusk to dawn light.

3.9 MAILBOX AND ADDRESS MARKERS

All homes must have a standard black, wall-mounted mailbox. Mailbox should be mounted next to the entry door. Exhibit E provides a graphic illustration of the preferred mailbox.

Homes will be required to identify their street address on the front of their homes and on the garage facing the alley. Address identification on the front of the home can be provided with etching on a glass transom above the front door OR with a standard address marker plaque. Exhibit F provides a graphic illustration of preferred address identification for the front of the home. Individual numbers nailed to the garage are acceptable for identification on the garage.

3.10 SIGNAGE

All signage is subject to applicable local and state regulations and any permanent signs must be approved by the DRC prior to submission to such agencies. Notwithstanding any other requirements of this section, the Master Developer may install signs of a certain type and in certain locations as may be approved by the appropriate governmental agencies for identification, directional, or informational purposes.

Builders, Owners, and Applicants are permitted only one (1) temporary building sign to be erected per homesite. Special signage may be allowed on a temporary basis for special events, per the approval of the Design Review Committee.

All signage to be used for new housing construction must be consistent with approved builder sign shown in Exhibit C ("Lot Sign"). Lot Signs shall be flexible to allow Applicant to include information relating to contractors, realtors, or other parties as deemed appropriate. A portion of the Lot Sign shall be flexible to accommodate interchangeable decals. In addition, a flag extension on the bottom of the sign indicating "Sold," "For Sale," "Model" or other suitable wording is also permissible.

Contractors are responsible for maintenance of all signage within their site(s). Repairs should be made in a timely manner.

Owners shall be responsible for maintenance and ultimate removal of any temporary signs, including political signs and realtor signs.

No sign shall be located in such a way as to create a traffic or other hazard, obstruct any other sign, or restrict visibility for vehicular or pedestrian circulation or views of the surrounding buildings and environment.

Identification signage is not allowed within the right-of-way of a dedicated public street, nor any other areas not approved by the DRC.

Signs advertising goods or services, home occupation signs, special event signs, and portable signs will not be permitted unless approval is granted from the DRC.

3.11 MOUNTED EQUIPMENT

Items such as skylights, solar panels, vents, access ladders, condensers, electric and gas meters, etc., should be strategically located so they are not visible from the street if possible. All skylights should be flat, no bubble or curved glass will be allowed. Where mechanical or service equipment, satellite dishes, or other equipment is located on the roof, it shall be grouped into concentrated areas with attempts made to minimize view from the street. Efforts should be made to screen mechanical equipment when possible. Metal flashing, flues and any other exposed roof top mechanical equipment should be non-reflective.

4 RESIDENTIAL ARCHITECTURAL GUIDELINES

The architectural character of existing buildings, streetscape, and landscape establishes a frame of reference for Fall Creek Place. To create harmony between the existing urban fabric and new elements, new residential construction should be compatible with the existing architectural character. Compatible designs should not seek to imitate the historic architecture of existing homes, but reflect their surrounding in terms of scale, orientation, and materials.

It is desirable for the homes of the neighborhood community to exhibit the individuality of their owners, as well as, adhere to the guidelines for their selected architectural style. However, it is equally important that they observe basic design principles inherent in good architecture.

The Builder's Guide for New Construction (Exhibit A) presents a very comprehensive architectural guide for five different styles of new homes suitable for Fall Creek Place (see pages 16-40). This Guide should be referenced to understand the primary visual elements for each architectural type.

This section of the Design Guidelines presents some general design considerations that should be adhered to for new residential construction.

4.1 GENERAL DESIGN FEATURES

The main entrance should have a sense of prominence that is reflected in the design. The entry should be sheltered on the exterior under a porch structure and include a front door with no sidelights. A transom window above should be considered. Deep front porches which create outdoor living spaces are encouraged on the front elevation.

Consistency of detailing on all elevations should be maintained. Windows and doors should be consistent in the number of types, locations, styles, and sizes. All openings should be articulated with the use of wide window trim and flat projecting sill or surrounds.

Within a specific block, the DRC may determine that no two homes with similar elevations or mirrored elevations and colors are located within five (5) houses of each other from the street frontage. Adjacent home should possess significant differences in their design and colors.

4.2 ROOF

Roof forms should be well organized and demonstrate the same character on all sides of the residence. Roof pitch should reflect the architectural character of the home, and may be either gable, hipped, or a combination. Eave lines should align wherever possible. Eaves and rakes should be articulated by multiple fascia boards, cove and crown molds, or gutters. Eave overhang should be minimum sixteen inches (16") from exterior face of structural framing. Gutters and downspouts shall be used at all eave lines unless deemed inappropriate.

4.3 FOUNDATIONS

Foundation wall should have minimum sixteen inch (16") exposure. Exposed foundation wall above grade shall be brick veneer, split-face block (rough side exposed), or stone. No house slabs on grade will be permitted. Homes constructed on slab must maintain minimum sixteen inch (16") exposure. Skirt boards should be installed to maintain these foundation exposures. Floor elevations should be adjusted to meet these minimum exposures.

4.4 FRONT AND SIDE PORCHES

Well-executed, prominent porches are preferred features. Porches are preferred to have a minimum depth of seven feet (7') to create outdoor living area. Front porches should have decorative railings and/or walls consistent with architecture of home. Attention to the porch details will be extremely important and a focus of the DRC. Porch floor decking material selection is contractor's choice. Pressure treated or unpainted pressure treated lumber will not be permitted. Stained porch materials are to be finished in a heavy body pigmented stain. Lattice porch foundations should be built with solid curtain wall blocking and lattice securely fastened to curtain wall. Generally, lattice foundations and the use of untreated pressure treated lumber is discouraged.

4.5 WINDOWS

All windows must be double-hung in appearance (except transoms). Single hung windows with a lower operable sash and fixed, non-operable windows are acceptable provided they have a double hung appearance. No casement windows are allowed. Preferred window types include all wood, vinyl-clad wood, or aluminum-clad wood window. All-vinyl windows may be utilized, provided they have an acceptable profile. Window types should be called out on plans, and DRC may request examples of all-vinyl window type for approval.

Under no circumstances will snap in grids or grids sandwiched between two panes of glass be allowed.

If all-vinyl windows are used, windows must have painted wood trim, consistent with the architectural style of the home.

Generally, window trim should have a header at a minimum width of five and one-half inches (5 1/2"), side trim with a minimum width of three and one-half inches (3 1/2"), and bottom trim with a minimum of one and one-half inches (1 1/2"). Trim detailing will be reviewed on a case by case basis, as the trim style and dimensions should reflect the style of the home.

Bay windows must be carried down to grade or express visual support of a cantilevered condition. When bay windows are stacked in a two-story condition, the blank panel between all facets should be articulated.

4.6 EXTERIOR DOORS AND TRIM

Exterior doors should have deadbolts. Doors should be called out on all plans submitted to DRC. Front doors should maintain an architectural character consistent with the home design. Flush doors without lights will not be permitted. Decorative sidelights will not be permitted. Transoms with the address etched in glass above the front door are encouraged. Door trim should match exterior window trim treatment. Wood trim around doors is required when wood trim is used on windows.

4.7 SIDING AND DECORATIVE TRIM

Brick, wood, or cement-fiber are preferred exterior materials. Vinyl siding may be utilized, provided it is a smooth surface with no wood grain stamping or texture, and is a flat color, not shiny. Wood grain stamped vinyl siding will not be permitted. Examples of suitable vinyl siding include Wolverine, Royal Architectural, and CertainTeed Main Street. No dutch lap vinyl siding will be permitted, as all vinyl siding shall be either double-four or triple-three type. Vinyl siding with a brush-stroke finish in lieu of a wood grained texture is acceptable, but should be called out on plans submitted to the DRC. Contractors may submit alternative siding and materials for DRC consideration.

Generally, horizontal siding should have a maximum six-inch (6") reveal. Mixing of material types should be restricted to fishscale or shake decorative siding at second floor transition and in gables in conjunction with horizontal siding. Emphasis by the DRC will be placed on transitions between materials. Trim boards, corner and frieze boards should be built out with filler boards to allow

sliding to be tuck behind trim board. Corner trim boards should be minimum of three and one-half inches (3 1/2") in width. Bandboards separating the first and second floor, and separating the first floor with the foundation wall are encouraged. Bandboards must be wood when wood trim is required on windows and doors. Bandboard width should be consistent with architectural character of the home, generally a minimum width of nine and one-quarter inches (9 1/4") is preferred. Sliding latticework, spindles, brackets and other decorative trim is encouraged. Whenever present, emphasis on scale, size, and thickness of decorative trim will be scrutinized. Undersized, under-scale and inappropriate size decorative trim will not be approved. All trim must be smooth surface trim. No rough-saw trim will be accepted.

T-1-11 or similar product styles and types will not be approved. Limited use of board and batten will be reviewed on case by case basis but generally will be restricted to small accent areas.

4.8 BRICK

The use of brick is encouraged, but should be provided on all four sides of the home. Brick on only the front elevation (other than porches) or first floor levels only will not be permitted. In some instances, the use of brick along the front, wrapping to a logical termination point on the side elevations may be considered, and will be reviewed and approved on a case by case basis by the DRC. All masonry materials should have color and type identified on plans for approval by the DRC. Brick front porches are desirable and encouraged.

4.9 GARAGES

A detached garage is highly preferred for all single family detached homes. Garages are required on all corner lots. Corner lots may have attached garages with potential access from the side street. As discussed in Section 3.3, a parking pad may be substituted in lieu of a garage if the DRC determines that having a garage would restrict affordability for the homebuyer. The DRC will restrict the location of where homes can be located that do not have a garage.

In general, the following criteria apply for the construction of the garage:

1. Two-car garages should have a minimum 20'-0" x 20'-0" exterior dimension. A smaller one-car garage will also be acceptable, but DRC may restrict location of such homes.
2. Roof slope must be minimum 4:12 roof slope. Roof slope is preferred to match primary dwelling.
3. Gable or hip roofs are acceptable on garage.

4. Roof shingles must match those on primary dwelling.
5. Attic/roof should be vented by soffit vents and roof vents (ridge, attic, gable vents acceptable).
6. Aluminum gutters and downspouts must match those on primary dwelling.
7. Garage should have minimum eave overhang as required for roof venting. Same overhang depth and finish as primary dwelling is preferred.
8. Garage must be wood framed wall and roof construction. Minimum structural member spacing should be twenty-four inches (24") on center.
9. Garage should have minimum eight foot (8'-0") tall exterior walls.
10. Horizontal siding and trim must match those on primary dwelling. Decorative siding in gables is preferred, but not required.
11. Overhead and passage doors must be finished to match house.
12. Concrete or block foundation wall on footing should be minimum thirty inches (30") below grade.
13. An exposed foundation wall is preferred with split-face concrete block to match primary dwelling, but is not required.

APPENDIX A

DEFINITIONS

APPLICANT - The owner or owner's representative who is responsible for the development of property or parcels within Fall Creek Place.

DESIGN REVIEW COMMITTEE (DRC) - as defined in the Declaration of Covenants Conditions & Restrictions.

COMMUNITY DEVELOPMENT PLAN - The overall plan for Fall Creek Place as approved and as may be amended.

DECLARATION - The Documents of the Fall Creek Place Homeowners Association and Exhibits for Fall Creek Place recorded or to be recorded in the Marion County Records Office.

DESIGN REVIEW - Process for evaluation of development plans to determine compliance with the Design Guidelines.

DESIGN GUIDELINES - Description of the planning areas shown on the Land Use Master Plan. The Development Guidelines establish density and land use for each planning area and represent the approved zoning.

DEVELOPER - Developer as identified in Declarations of Covenants, Conditions and Restrictions, Bylaws and Design Guidelines.

MODIFICATIONS COMMITTEE (MC) - as defined in these Design Guidelines and Fall Creek Homeowners Association documents.

FALL CREEK PLACE HOMEOWNERS ASSOCIATION - The association for owners of property in Fall Creek Place as defined in the Declaration of Covenants, Conditions & Restrictions.

OPEN SPACE - Public or private land and aquatic areas which are managed to protect the natural environment; provide recreational opportunities; shape the pattern of development; or any combination thereof, including yards, common areas and elements, but excluding therefrom buildings.

PHASE AREA - Refers to the phases identified on a Phase Plan that periodically is updated by Master Developer.

APPENDIX B

APPROVAL

DESIGN REVIEW COMMITTEE (DRC)
FALL CREEK PLACE HOMEOWNERS ASSOCIATION, INC.

- By: _____
Charles R. Cagann, Mansur Real Estate Services Inc., Member
- By: _____
Chris Palladino, Mansur Real Estate Services Inc., Member
- By: _____
Todd Rottmann, Rottmann Garner Architects
- By: _____
Jody Dennerline, King Park Area Development Corporation, Member
- By: _____
Jennifer Green- City of Indianapolis, Member
- By: _____
Sean Murray, City of Indianapolis, Member
- By: _____
Todd Dorcas, City of Indianapolis, Member



EXHIBIT A
Builders Guide for New Construction

BUILDER'S GUIDE
for new construction

Exterior Construction Standards
for Projects with City Participation

FALL CREEK PLACE

Indianapolis, Indiana



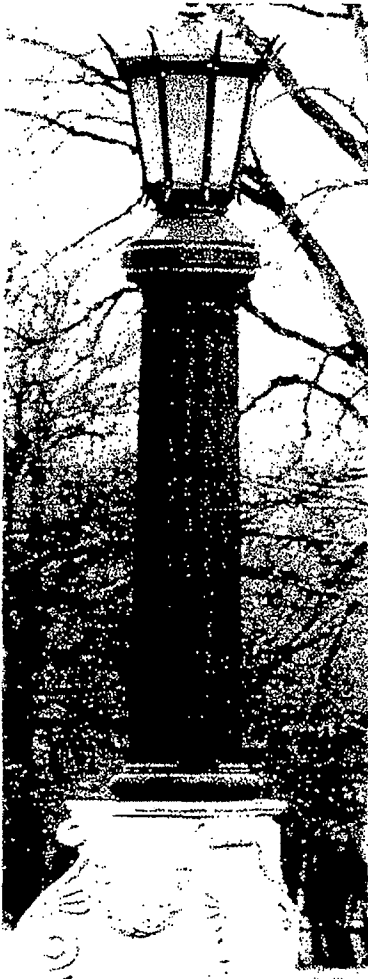
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FALL CREEK PLACE

BUILDER'S GUIDE



FOREWORD

The purpose of this builder's guide is to present concepts, alternatives, and approaches that will produce design solutions which recognize the characteristics of Fall Creek Place and bring harmony between the new and existing buildings in the neighborhood. The guidelines presented in this guidebook are not intended to restrict creativity, but to set up a framework within which sympathetic design will occur. It should be noted that within the framework provided by this guidebook, many different design solutions are possible. New construction should reflect the best of the design trends and concepts of the period in which it was created. New structures should harmonize with the old and at the same time, be easily distinguished from the old so that the evolution of the Fall Creek area is discernable.

Prepared for
City of Indianapolis
Bart Peterson, Mayor

Department of Metropolitan Development
Carolyn M. Coleman, Director

NEW CONSTRUCTION GUIDELINES



Historic Neighborhood Scene

Photograph taken in 1909 showing Pennsylvania Street. The open porches, tree-lined street, and general atmosphere depict the neighborhood characteristics promoted by the Fall Creek Place Builder's Guide.

NEW CONSTRUCTION GUIDELINES: CONTEXT

These guidelines serve as an aid to designers of new houses in Fall Creek Place. The most important first step in designing compatible new construction in any urban neighborhood is to determine just what the context is to which the designer is expected to be sensitive.

Every site possesses a unique context. This context is comprised of the buildings immediately adjacent to the site, the nearby area (often the surrounding block), a unique subarea within the neighborhood, and the neighborhood as a whole. Generally, new construction will occur on sites that fall into the following categories. For each category described below, there is an indication of the context to which new construction must be primarily related.

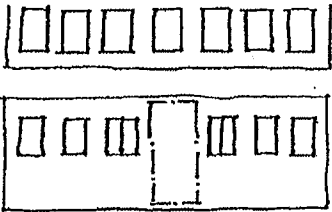
1. **ISOLATED LOT:** This is usually a single vacant lot (sometimes two very small lots combined) which exists in a highly developed area with very few if any other vacant lots in view.
Context: The existing buildings immediately adjacent and in the same block, and the facing block provide a very strong context to which any new construction must primarily relate.
2. **LARGE SITE:** This is usually a combination of several vacant lots, often the result of previous demolition.
Context: Since this type of site was usually created as a result of relatively extensive demolition, its surrounding context has been weakened by its very existence. However, context is still of primary concern. In such cases, a somewhat larger area than the immediate environment must also be examined for context, especially if other vacant land exists in the immediate area.
3. **EXPANSIVE SITE:** This site may consist of a half block or more of vacant land or the site may be a smaller one surrounded by many other vacant sites. Often there is much vacant land surrounding the site.
Context: The context of adjacent buildings is often very weak or nonexistent. In this case, the surrounding neighborhood provides the primary context to the extent that it exists. Beyond that, the neighborhoods surrounding Fall Creek Place are available as context for determining character. This type of site often offers the greatest design flexibility. Where the strength of the context varies at different points around a site, new design should be responsive to the varying degrees of contextual influence.
4. **HISTORIC CONTEXT:** 1890-1930: Fall Creek Place is not presently a designated historic area. However, it is a neighborhood with a history and retains remnants of its past neighborhood character. The Builders Guide sometimes refers to "historic" buildings and "historic" character when defining the general visual context for the design, massing and siting of new houses in Fall Creek Place. The "historic" visual context referred to in this Builders Guide is simply the buildings constructed between the time this area was first developed in the 1890's and the early part of the 20th century.

**FALL CREEK PLACE
BUILDER'S GUIDE**

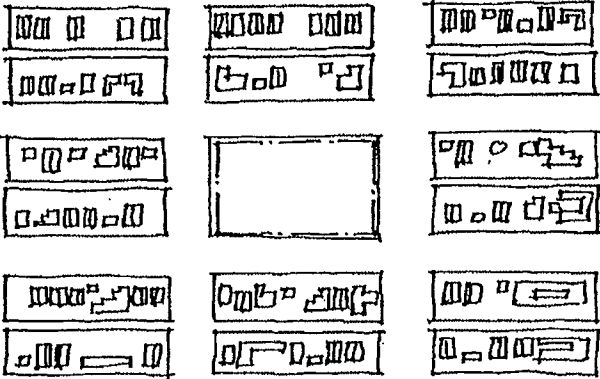
CONTEXT

The diagrams below illustrate the context descriptions found on the previous page.

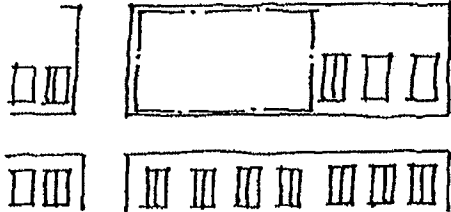
*ISOLATED SITE
NEW BUILDING ON SINGLE LOT*



*USE EXISTING BUILDINGS
SURROUNDING THE SITE IN
DETERMINING DESIGN, MASSING
& SITING OF NEW BUILDING.*



*LARGE SITE
NEW BUILDING ON SEVERAL SITES*



*USE EXISTING BUILDINGS
SURROUNDING THE SITE IN
DETERMINING DESIGN, MASSING
& SITING OF NEW BUILDING*

*EXPANSIVE SITE
NEW BUILDINGS ON
LARGE SITE*

*USE EXISTING BUILDINGS
THROUGHOUT THE AREA
IN DETERMINING DESIGN
OF NEW BUILDINGS.*

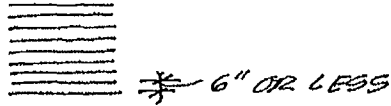
FALL CREEK PLACE
BUILDER'S GUIDE

MATERIALS: The visual, structural, and performance characteristics of the materials visible on a building exterior.

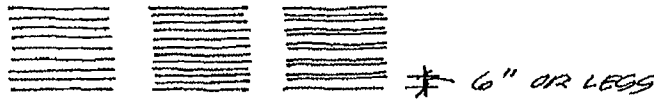
RECOMMENDED:

1. Textures, patterns and dimensions of new building materials should be compatible with those found on historic buildings in the area.
2. Use of natural materials is preferred, although modern materials may be considered provided they appear similar to natural materials. For example, modern siding materials such as hardboard, or cementitious lap siding are a good alternative to natural materials because they have a paintable surface and may be installed using traditional methods. These alternatives produce a finished appearance which is very similar to natural materials.
3. When vinyl, aluminum, hardboard or other siding material is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics of wood clapboard siding found historically in the neighborhood. It should be installed with corner boards and dimensional window and door trim.

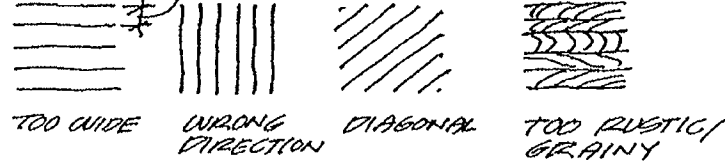
TYPICAL SIDING ON HISTORIC BUILDING



MAY BE APPROPRIATE ON NEW CONSTRUCTION



INAPPROPRIATE
OVER 6"



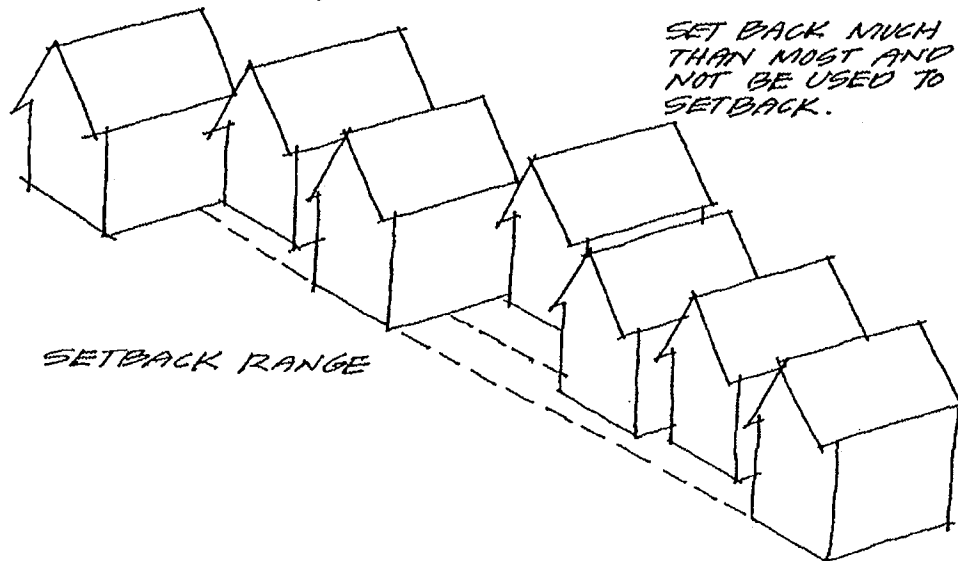
FALL CREEK PLACE BUILDER'S GUIDE

SETBACK: The distance a building is set back from a street.

RECOMMENDED:

1. A new building's setback should relate to the setback pattern established by the existing block and neighborhood context rather than the setbacks of building footprints which no longer exist. If the development standards for the particular zoning district do not allow appropriate setbacks, a variance may be required.
2. If setbacks are varied, new construction can be located within a setback That falls within an "envelope" formed by the greatest and least setback distances.
3. If setbacks are uniform, new construction should conform.
4. On corner sites, the setbacks from both streets should reflect the context.

*CLOSER TO STREET THAN MOST
AND SHOULD NOT BE USED TO
DETERMINE SETBACK.*



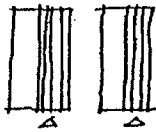
**FALL CREEK PLACE
BUILDER'S GUIDE**

SPACING: The distances between contiguous buildings along a blockface.

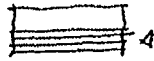
RECOMMENDED:

1. New construction should reflect and reinforce the spacing in its block. New construction should reinforce the perceived regularity or lack of regularity of spacing on the block.
2. The creation of large open spaces where none existed historically should be avoided. Such spacing is uncharacteristic and establishes holes in the traditional pattern and rhythm of the street.

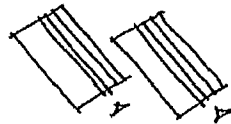
APPROPRIATE



INAPPROPRIATE



INAPPROPRIATE



*NEW STRUCTURES NOT
FACING THE STREET AS
EXISTING STRUCTURES*

FALL CREEK PLACE

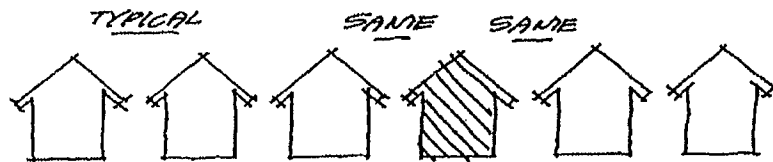
BUILDER'S GUIDE

SPACING: The distances between contiguous buildings along a blockface.

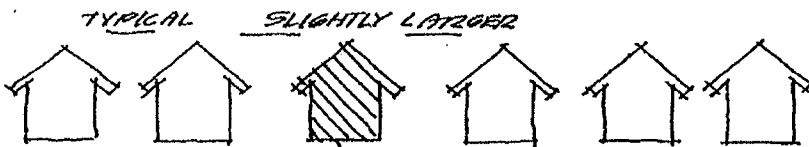
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2. The creation of large open spaces where none existed historically should be avoided. Such spacing is uncharacteristic and establishes holes in the traditional pattern and rhythm of the street.

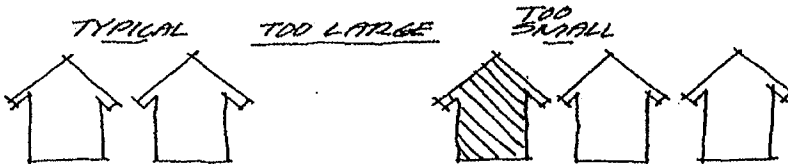
APPROPRIATE



MAYBE



INAPPROPRIATE

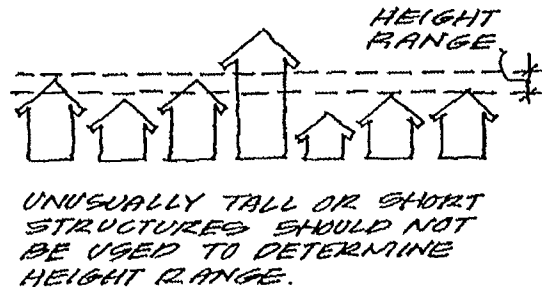


FALL CREEK PLACE BUILDER'S GUIDE

BUILDING HEIGHTS: The actual height of buildings and their various components as measured from grade.

RECOMMENDED:

1. Generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has uniform heights. Uncharacteristically high or low buildings should not be considered when determining the appropriate range. If the pattern of the block is characterized by a variety of heights, then the height of new construction can vary from the lowest to the highest on the block.
2. Cornice heights can be as important as overall building heights. Where there is uniformity, they should be compatible with contiguous buildings in a similar manner.
3. New construction at the end of a block should take in to account building heights on adjacent blocks.
4. If the area immediately contiguous to new construction does not offer adequate context to establish an appropriate new building height, the larger historic area context should be assessed.
5. Porch height can have an impact on the height relationships between buildings and should align with contiguous porch foundation and roof heights in a similar manner to building heights.
6. Foundation and floor line heights should be consistent with contiguous properties.
7. New buildings should not appear either diminutive or overscale in relation to its context.

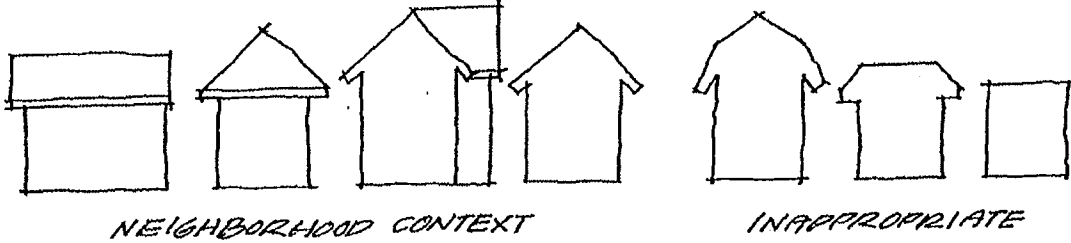


OUTLINE: The silhouette of a building as seen from the street.

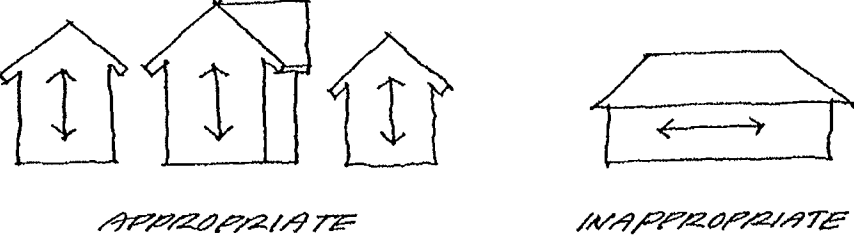
RECOMMENDED:

1. The basic outline of a new building should reflect building outlines typical of the area.
2. The outline of new construction should reflect the directional orientations characteristic of the existing buildings in its context.
3. Roof shapes should not create uncharacteristic shapes, slopes, and patterns.

SHAPE



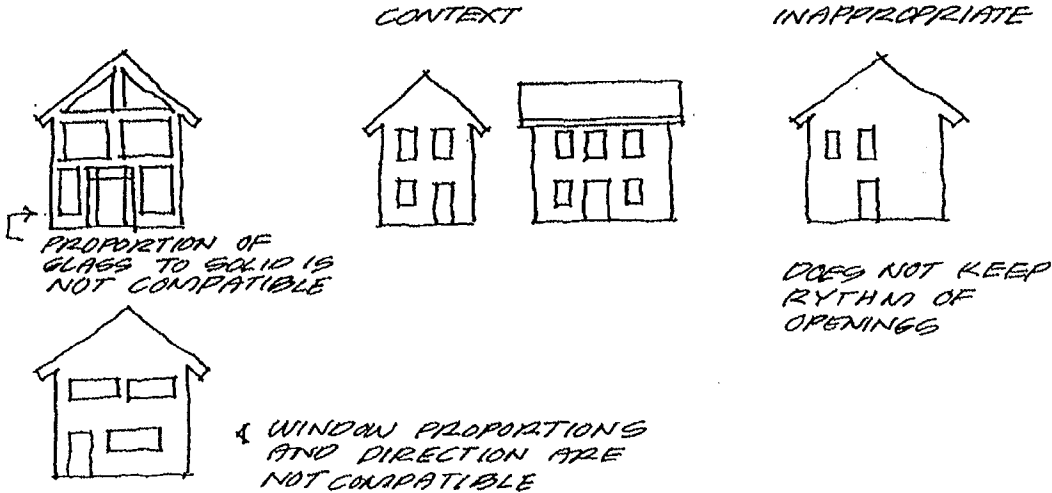
DIRECTIONALITY



FENESTRATION: The arrangement, proportion, and design of windows, doors and openings.

RECOMMENDED:

1. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.
2. The basic proportions of glass to solid found on surrounding buildings should be reflected in new construction.
3. Window openings should be compatible in proportion and directionality to those typically found in examples of the architectural style employed by the design of the building.
4. Window sash configuration should be compatible with the architectural style.



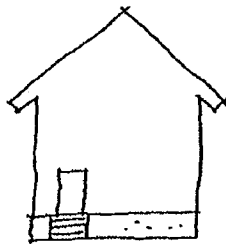
FALL CREEK PLACE BUILDER'S GUIDE

FOUNDATION: The support base upon which a building sits.

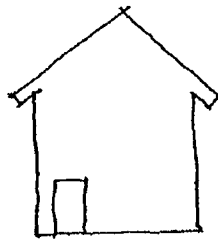
RECOMMENDED:

1. New construction should reflect the prevailing sense of foundation height on contiguous buildings.
2. Entrances should be raised in a similar manner as existing houses in the area.
3. Houses should not appear too close to the ground if surrounding buildings are raised on high foundations.

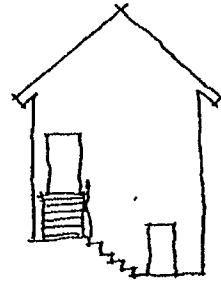
*(WHERE
APPROPRIATE)*



INAPPROPRIATE



*DOOR AT
GRADE*

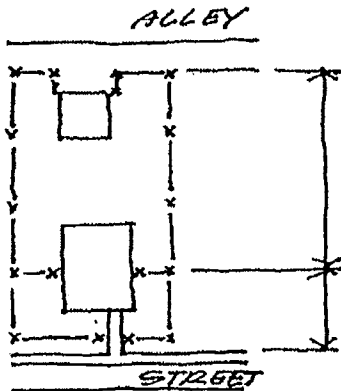


*DOOR TOO FAR
ABOVE AND
BELOW GRADE*

SITE DEVELOPMENT AND LANDSCAPING

RECOMMENDED

1. Maintain the original topographic character of a site as perceived from the street.
2. Off-street parking should be located at the rear of the properties, oriented toward alleys, and screened if appropriate.
3. Privacy fences, if desired, should enclose only the rear yard.
4. Front yard fences, if desired, should be open in style and relatively low (usually not in excess of 42"). Picket, wrought iron, or other ornamental fence may be appropriate, depending on the use of the property.
5. Trees should frame and accent buildings and should line the street.



APPROPRIATE
REAR YARD
FENCE STYLES
(WOOD BOARD)

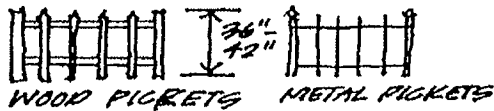
REAR YARD PRIVACY FENCES

- SHOULD STOP APPROXIMATELY MID-POINT BETWEEN THE FRONT AND REAR OF THE HOUSE.
- SHOULD BE NO HIGHER THAN 6 FT.
- MAY BE SOLID

FRONT YARD FENCES

- SHOULD BE 36" HIGH (42" MAX)
- MUST BE OPEN (SPACED PICKETS)

APPROPRIATE FRONT
YARD FENCE STYLES



WOOD PICKETS

METAL PICKETS

INAPPROPRIATE FENCE STYLES



SPLIT RAIL

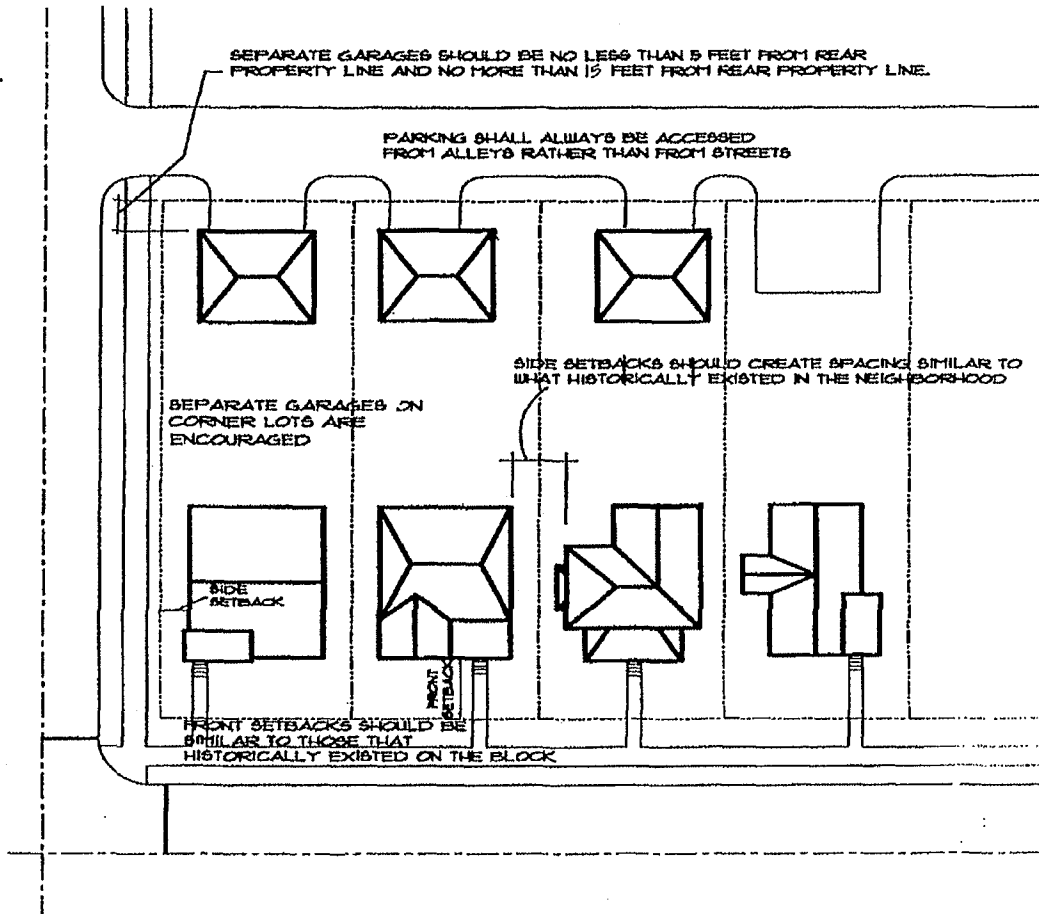
LATTICE

CHAIN LINK

BASKET WEAVE

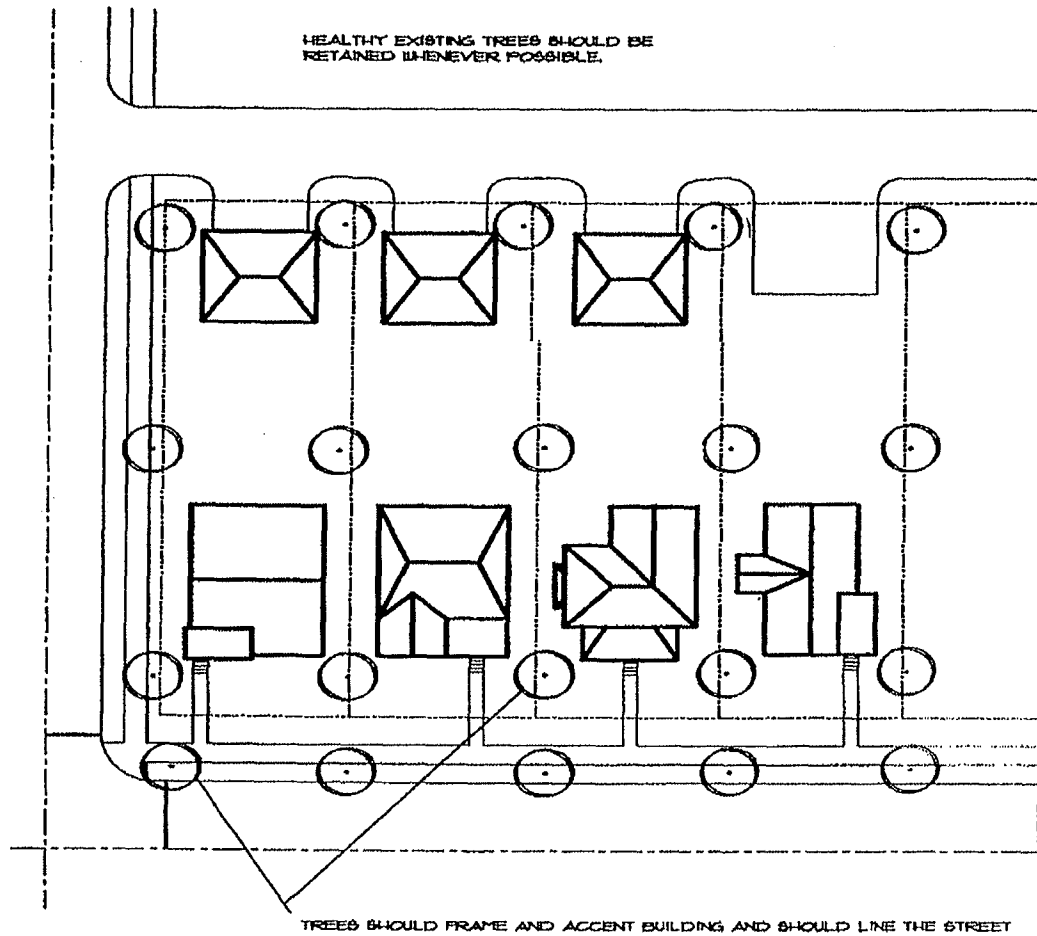
FALL CREEK PLACE
BUILDER'S GUIDE

SITE DEVELOPMENT DIAGRAM



**FALL CREEK PLACE
BUILDER'S GUIDE**

APPROPRIATE TREE LOCATIONS



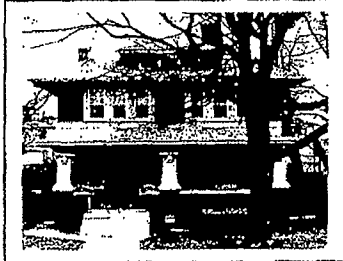


This image is an earlier streetscape view along north Alabama Street illustrating grass buffers between the street and sidewalk, and trees lining the street which frame the houses. For wider residential streets, a grass median or esplanade provides an attractive feature.

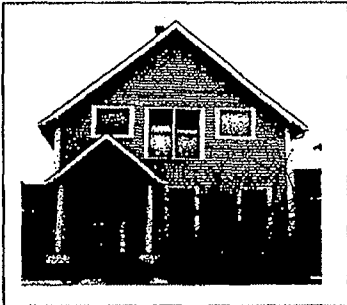
ARCHITECTURAL STYLES



Victorian



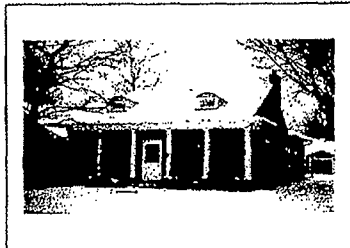
American Foursquare



Indianapolis Traditional



Craftsman



Colonial Revival

ARCHITECTURAL STYLES **Victorian**



Larger Historic Example



Smaller Historic Cottage

Characteristics:

- **Form:** Asymmetrical with projecting elements (porches, towers, bays).
- **Roof:** Steeply pitched with a variety of complex forms, tall chimneys.
- **Porch:** Deep porches covering part or entire front of house, often wraparound
- **Doors & Windows:** Generally tall and narrow. Vertical emphasis is important. A variety of sizes and shapes should be used on prominent elevations. Accent windows may employ different shapes.
- **Base:** Foundation raised several steps.
- **Materials & Colors:** Variety of textures, materials and colors.

ARCHITECTURAL STYLES **Victorian**



Good Recent Cottage Victorian



Good New Victorian

House Form	Plan	Complex, Featuring cross axes, projecting wings, porches, and balconies.
	Mass	Two stories. Large, vertical appearance.
	Balance	Asymmetrical Facade.

House Elements		Material	
Porches	Type	<ul style="list-style-type: none"> • Deep front porch • Spans the street elevation, or • Part of the street elevation, or • Wraps around one side 	<ul style="list-style-type: none"> • Wood, or Synthetic material - if it replicates wood in finish and dimensions
	Columns & Details	<ul style="list-style-type: none"> • Chamfered square posts, or turned posts, or • Classical columns. • Single, or grouped in pairs. • May include brackets: decorative galleries 	
	Railings	<ul style="list-style-type: none"> • Turned spindles, or • 2 x 2 plain square posts • Traditional configuration 	<ul style="list-style-type: none"> • Wood
	Floor	<ul style="list-style-type: none"> • Tongue and groove, or • Slab 	<ul style="list-style-type: none"> • Wood, or • Concrete
	Steps	<ul style="list-style-type: none"> • Several simple steps 	<ul style="list-style-type: none"> • Wood, or • Concrete

FALL CREEK PLACE
BUILDER'S GUIDE

ARCHITECTURAL STYLES Victorian

House Elements			Material
Windows	Window Type(s)	Double Hung, insulated glass	<ul style="list-style-type: none"> • Wood, or Vinyl Clad • Wood
	Basic Shape	Rectangular, narrow, vertical proportion	
	Basic Window Panes	Single pane per sash (no multiple panes or snap-in grids)	
	Special Accent Windows	<ul style="list-style-type: none"> • May vary in size and detail • May include colored glass • May be multi-paned (no snap-in grid) 	
	Window Trim	<ul style="list-style-type: none"> • Wide Trim • No Brick Molding • Separate window heads and sills 	<ul style="list-style-type: none"> • Smooth-finished wood
Doors	Door Type(s)	<ul style="list-style-type: none"> • Single or double • Tall with transom above 	<ul style="list-style-type: none"> • Wood, or Metal (if detailed and like a wood door)
	Door Style(s)	<ul style="list-style-type: none"> • Glass in upper section, Panels in lower section 	
	Door Trim	<ul style="list-style-type: none"> • Simplified classical surround 	
Foundation	House	<ul style="list-style-type: none"> • Raised 15" minimum above grade • Skirt board and drip edge 24" minimum above grade • May be adjusted to comply with surrounding houses 	<ul style="list-style-type: none"> • Brick, or Decorative concrete block
	Porch	<ul style="list-style-type: none"> • Piers with lattice infill • Piers faced with same material used on house foundation 	
	Garage	<ul style="list-style-type: none"> • Slab 	

FALL CREEK PLACE
BUILDER'S GUIDE

ARCHITECTURAL STYLES Victorian

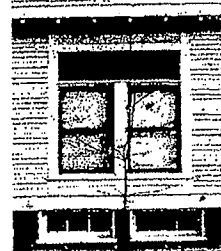
House Elements			Material
Roof	Pitch	approximately 8-12 to 12-12	<ul style="list-style-type: none"> • Asphalt, or • Fiberglass shingles
	Shape(s)	<ul style="list-style-type: none"> • Irregular Shapes combined • Gables, hips, turrets, towers, dormers, conical tower roofs • One dominant gable should face the front and include a decorative window 	
	Colors	<ul style="list-style-type: none"> • Medium to dark slate gray 	
Chimney(s)	Style	<ul style="list-style-type: none"> • Brick chimney; tall and thin with decorative top • No wood or stucco sided box chimneys. • Metal stovepipes allowed if not visible from street • Thru-the-wall allowed if the vent is not on the front. • Thru-the-wall bump outs allowed on rear facades only. 	<ul style="list-style-type: none"> • Brick, or • Metal (stovepipe)
Siding	Basic Type(s)	<ul style="list-style-type: none"> • Clapboard with max. 6" reveal • Brick: on entire exterior or front & sides. • Brick on only the first floor; clapboards and/or shingling above • Mix materials, clapboard siding, decorative fishscale shingles, brick, decorative wood panels on same house. Emphasis on transition between materials 	<ul style="list-style-type: none"> • Wood • Hardboard • Brick veneer • Decorative wood shingles • Vinyl
	Decorative Trim & Details	<ul style="list-style-type: none"> • Decorative shingles in gable ends, • Band of pickets, shingles, or half-timber like stickwork on the street elevation, • Wood decorative accents such as trim boards with carved and incised shapes, • Lattice work, spindles • Chamfered edges. 	<ul style="list-style-type: none"> • Wood
	Paint Colors	<ul style="list-style-type: none"> • Siding colors should be bold; choose medium to strong colors • Trim a lighter or darker color than siding. • A third color may be used for accent. • Additional colors may be appropriate if the house is highly detailed. 	<ul style="list-style-type: none"> • Standard House Paint

ARCHITECTURAL STYLES **Victorian**

Porch Example



Examples of Trim and Details

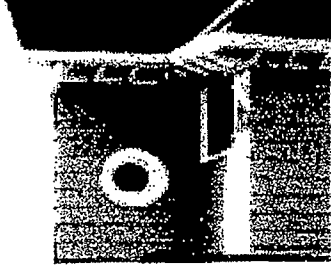
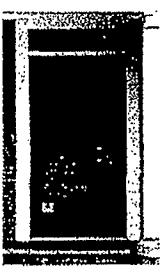
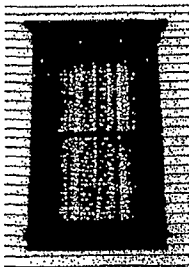


ARCHITECTURAL STYLES **Victorian**

Examples of Forms and Shapes



Examples of Windows and Doors



ARCHITECTURAL STYLE **American Foursquare**



Historic Example

Characteristics:

- Form: Symmetrical with projecting elements (porches, bays)
- Roof: Moderate pitched roofs, typically gable or hipped
- Porch: Deep porches covering part or entire front of house
- Doors & Windows: Large and wide double-hung
- Base: Foundation raised several steps
- Materials & Colors: Variety of textures, materials and colors

ARCHITECTURAL STYLES **American Foursquare**



Good New Foursquare

House Form	Plan	Square or rectangular
	Mass	Two stories. Large, square appearance.
	Balance	Simple, symmetrical facade

House Elements		Material	
Porches	Type	<ul style="list-style-type: none"> • Deep front porch • Spans the street elevation • Part of the street elevation 	<ul style="list-style-type: none"> • Wood, or Synthetic material - if it replicates wood in finish and dimensions
	Columns & Details	<ul style="list-style-type: none"> • Square posts, or Brick columns. • Wood may be single, or grouped in pairs. 	
	Railings	<ul style="list-style-type: none"> • Turned spindles, or 2 x 2 plain square posts / slats • Traditional configuration 	<ul style="list-style-type: none"> • Wood
	Floor	<ul style="list-style-type: none"> • Tongue and groove, or Slab 	<ul style="list-style-type: none"> • Wood, or Concrete
	Steps	<ul style="list-style-type: none"> • Several simple steps 	<ul style="list-style-type: none"> • Wood, or Concrete

ARCHITECTURAL STYLES **American Foursquare**

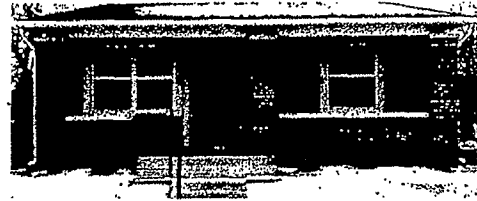
House Elements			Material
Windows	Window Type(s)	Double Hung, insulated glass	• Wood, or Vinyl Clad Wood
	Window Shape	Rectangular, wide	
	Window Panes	Single pane per sash (no multiple panes or snap-in grids)	
	Special Windows	• May vary in size and detail	
	Window Trim	• Wide Trim • No Brick Molding	• Wood
Doors	Door Type(s)	• Single • Tall with transom above	• Wood, or Metal (if detailed and like a wood door)
	Door Style(s)	• Glass in upper section, • Panels in lower section or full lite	
	Door Trim	• Simplified classical surround	
Foundation	House	• Raised 15" minimum above grade • Skirt board and drip edge 24" minimum above grade • May be adjusted to comply with surrounding houses	• Brick, or Decorative concrete block
	Porch	• Piers faced with same material used on house foundation	
	Garage	• Slab	

ARCHITECTURAL STYLES **American Foursquare**

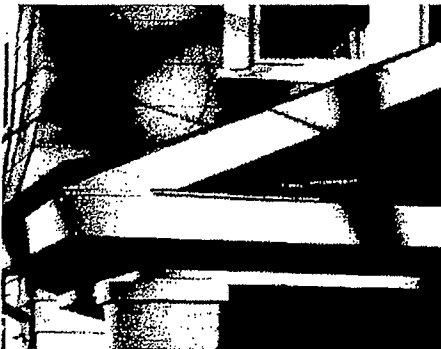
House Elements		Material
Roof	Pitch	approximately 6-12 to 8-12
	Shape(s)	<ul style="list-style-type: none"> • Simple shapes • Gables or hips with dormers where required
	Colors	medium to dark slate gray/Brown/Red/Green
Chimney(s)	Style	<ul style="list-style-type: none"> • Brick chimney; wide, sturdy • No wood or stucco sided box chimneys. • Metal stovepipes allowed if not visible from street • Thru-the-wall allowed if the vent is not on the front. • Thru-the-wall bump outs allowed on rear facades only.
		<ul style="list-style-type: none"> • Brick, or Metal (stovepipe)
Siding	Basic Type(s)	<ul style="list-style-type: none"> • Clapboard with max. 6" reveal • Brick: on entire exterior or front & sides. • Brick on only the first floor; clapboards and/or shingling above • Mix materials, clapboard siding, decorative shake shingles, brick, decorative wood panels on same house.
	Decorative Trim & Details	<ul style="list-style-type: none"> • Exposed framing/trim at eaves • Large horizontal wood band board at transition between first and second floor
	Paint Colors	<ul style="list-style-type: none"> • Siding colors should be chosen from medium palette. • Trim a lighter or darker color than siding.
		<ul style="list-style-type: none"> • Wood • Hardboard • Brick veneer • Decorative wood shingles
		<ul style="list-style-type: none"> • Wood
		<ul style="list-style-type: none"> • Standard House Paint

ARCHITECTURAL STYLES **American Foursquare**

Examples of Porches



Examples of Trim and Details



ARCHITECTURAL STYLES **American Foursquare**

Examples of Forms and Shapes



Examples of Windows



ARCHITECTURAL STYLES **Craftsman**



Historic Example

Characteristics:

- **Form:** Usually rectangular. May be more complex with projections, broad porches.
- **Roof:** Broad planes. Exposed rafter tails, perkins and other structural
- **Porch:** Wide. Often recessed under main roof. Tapered columns or massive piers.
- **Doors & Windows:** Single or set in groups. Multiple panes, one-over-one double hung or casement
- **Base:** Foundation raised several steps. Brick, stone, or rusticated cement block.
- **Materials & Colors:** Natural materials. Stained or painted dark earth tones.

ARCHITECTURAL STYLE **Craftsman**



Good New Craftsman

House Form	Plan	Square or rectangular
	Mass	One, one and one-half, or two stories, with projections at sides where dictated by plan
	Balance	Semi-symmetrical facade.

House Elements		Material	
Porches	Type	<ul style="list-style-type: none"> • Deep front porch • Spans the street elevation, or • Part of the street elevation, or • Wraps around one side 	<ul style="list-style-type: none"> • Wood, or • Synthetic material - if it replicates wood in finish and dimensions
	Columns & Details	<ul style="list-style-type: none"> • Heavy piers often made of fieldstone manufactured masonry material, over scaled beams. • Posts and knee braces • Tapered square wood columns 	
	Railings	<ul style="list-style-type: none"> • 2 x 2 plain square posts • Traditional configuration 	<ul style="list-style-type: none"> • Wood
	Floor	<ul style="list-style-type: none"> • Tongue and groove, or • Slab 	<ul style="list-style-type: none"> • Wood, or • Concrete
	Steps	<ul style="list-style-type: none"> • Several simple steps 	<ul style="list-style-type: none"> • Wood, or • Concrete

FALL CREEK PLACE
BUILDER'S GUIDE

ARCHITECTURAL STYLES Craftsman

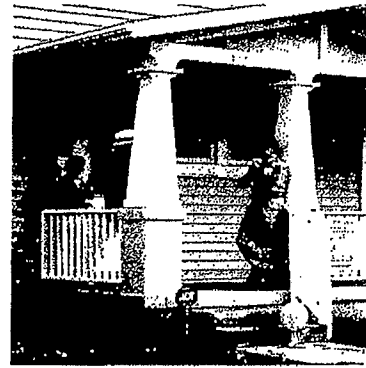
House Elements			Material
Windows	Window Type(s)	Double Hung, insulated glass	<ul style="list-style-type: none"> • Wood, or Vinyl Clad • Wood
	Window Shape	Rectangular, narrow, vertical proportion	
	Window Panes	<ul style="list-style-type: none"> • Multiple panes per sash • One-over-one • Multiple pane sash over one 	
	Special Windows	<ul style="list-style-type: none"> • May vary in size and detail • No snap-in grids 	
	Window Trim	<ul style="list-style-type: none"> • Wide Trim • No Brick Molding • Separate window heads 	<ul style="list-style-type: none"> • Wood
Doors	Door Type(s)	<ul style="list-style-type: none"> • Single or double • Wide; without transom; prominent hardware; often used strap hinges, etc. 	<ul style="list-style-type: none"> • Wood, or Metal (if detailed and like a wood door) • Stainable • Fiberglass
	Door Style(s)	<ul style="list-style-type: none"> • Simple with very little panel work. 	
	Door Trim	<ul style="list-style-type: none"> • Simplified classical surround 	
Foundation	House	<ul style="list-style-type: none"> • Raised 15" minimum above grade • Skirt board and drip edge 24" minimum above grade • May be adjusted to comply with surrounding houses 	<ul style="list-style-type: none"> • Brick, or Decorative concrete block
	Porch	<ul style="list-style-type: none"> • Piers faced with same material used on house foundation 	
	Garage	<ul style="list-style-type: none"> • Slab 	

ARCHITECTURAL STYLES **Craftsman**

House Elements			Material
Roof	Pitch	approximately 4-12 to 8-12	<ul style="list-style-type: none"> Asphalt, or Fiberglass shingles
	Shape(s)	<ul style="list-style-type: none"> Low pitched and broad Gables or hips with deep overhangs Visible structural elements 	
	Colors	<ul style="list-style-type: none"> Medium to dark slate gray 	
Chimney(s)	Style	<ul style="list-style-type: none"> Brick chimney; wide and sturdy No wood or stucco sided box chimneys. Metal stovepipes allowed if not visible from street Thru-the-wall allowed if the vent is not on the front. Thru-the-wall bump outs allowed on rear facades only. 	<ul style="list-style-type: none"> Brick, or Metal (stovepipe)
Siding	Basic Type(s)	<ul style="list-style-type: none"> Clapboard with max. 6" reveal Brick; on entire exterior or front & sides. Brick on only the first floor; clapboards and/or shingling above Mix materials, clapboard siding, decorative shake shingles, brick, decorative wood panels on same house 	<ul style="list-style-type: none"> Wood Hardboard Brick veneer Decorative wood shingles
	Decorative Trim & Details	<ul style="list-style-type: none"> Exposed framing/trim at eaves Large horizontal wood band board at transition between first and second floor 	<ul style="list-style-type: none"> Wood
	Paint Colors	<ul style="list-style-type: none"> Siding colors should be chosen from medium palette Trim a lighter or darker color than siding 	<ul style="list-style-type: none"> Standard House Paint

ARCHITECTURAL STYLES **Craftsman**

Examples of Porches



Examples of Trim and Details



ARCHITECTURAL STYLE **Colonial Revival**



Small Historic Example

Characteristics:

- **Form:** Symmetrical with projecting elements (small porticos, screened porches at side)
- **Roof:** Pitched from street, gabled at ends (sides)
- **Porch:** Small portico at centered entry, usually supported by classical columns. Screened porch at side is common.
- **Doors & Windows:** Windows usually singular, sometimes paired. Ornamented door surround. Dormers at roof common.
- **Base:** Foundation raised 2-4 steps
- **Materials & Colors:** Reddish brick with white painted trim or painted clapboards.

ARCHITECTURAL STYLES Colonial Revival



House Form	Plan	Basic rectangular form
	Mass	Two stories, minimum. Large
	Balance	Symmetrical Facade.

House Elements			Material
Porches	Type	<ul style="list-style-type: none"> • Small projecting porch • Located at main, central entrance, or as part of enclosed sunroom projection at side of house 	<ul style="list-style-type: none"> • Wood, or Synthetic material - if it replicates wood in finish and dimensions
	Columns & Details	<ul style="list-style-type: none"> • Plain wood columns, or Fluted wood columns with classical capitals for larger homes • May include bracket, or decorative galleries • A decorative broken pediment may be employed 	
	Railings	<ul style="list-style-type: none"> • Turned spindles, or • 2 x 2 plain square posts • Traditional configuration 	<ul style="list-style-type: none"> • Wood
	Floor	<ul style="list-style-type: none"> • Concrete Slab, with masonry foundation 	<ul style="list-style-type: none"> • Masonry, or Concrete
	Steps	<ul style="list-style-type: none"> • Several steps 	<ul style="list-style-type: none"> • Masonry, or Concrete

FALL CREEK PLACE
BUILDER'S GUIDE

ARCHITECTURAL STYLE Colonial Revival

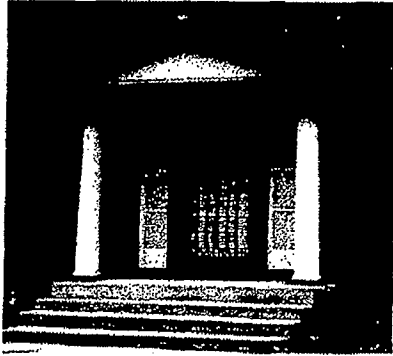
House Elements			Material
Windows	Window Type(s)	Double Hung, insulated glass	<ul style="list-style-type: none"> • Wood, or Vinyl Clad • Wood
	Window Shape	Rectangular, narrow, vertical proportion	
	Window Panes	Multiple panes. (No snap-in grids)	
	Special Windows	<ul style="list-style-type: none"> • May vary in size and detail • May be grouped in pairs 	
	Window Trim	<ul style="list-style-type: none"> • 4" Wide Trim • No Brick Molding • Headers may be accented with a trim cap, drip molding, or cornice 	<ul style="list-style-type: none"> • Wood
Doors	Door Type(s)	<ul style="list-style-type: none"> • Single or double • tall with transom above 	<ul style="list-style-type: none"> • Wood, or Metal (if detailed and like a wood door)
	Door Style(s)	<ul style="list-style-type: none"> • panels in lower section, or • Half lights 	
	Door Trim	<ul style="list-style-type: none"> • Simplified classical surround 	
Foundation	House	<ul style="list-style-type: none"> • Raised 15" minimum above grade • Skirt board and drip edge 24" minimum above grade • May be adjusted to comply with surrounding houses 	<ul style="list-style-type: none"> • Brick, or Decorative concrete block
	Porch	<ul style="list-style-type: none"> • Masonry • Piers faced with same material used on house foundation 	
	Garage	<ul style="list-style-type: none"> • Slab 	

ARCHITECTURAL STYLE **Colonial Revival**

House Elements			Material
Roof	Pitch	<ul style="list-style-type: none"> • approximately 6-12 to 8-12 	<ul style="list-style-type: none"> • Asphalt, or Fiberglass shingles
	Shape(s)	<ul style="list-style-type: none"> • One dominant gable at narrow elevations. Dormers often face street elevation • A gambrel roof may be associated with "Dutch Colonial" style. 	
	Colors	<ul style="list-style-type: none"> • medium to dark slate gray 	
Chimney(s)	Style	<ul style="list-style-type: none"> • Brick chimney; sturdy simple top • No wood or stucco sided box chimneys. • Metal stovepipes allowed if not visible from street • Thru-the-wall allowed if the vent is not on the front. • Thru-the-wall bump outs allowed on rear facades only. 	<ul style="list-style-type: none"> • Brick, or Metal (stovepipe)
Siding	Basic Type(s)	<ul style="list-style-type: none"> • Clapboard with max. 6" reveal • Brick: with limestone details on entire exterior or front & sides. • Brick on only the first floor; clapboards and/or shingling above 	<ul style="list-style-type: none"> • Wood • Hardboard • Brick veneer • Decorative wood shingles • Wood
	Decorative Trim & Details	<ul style="list-style-type: none"> • Decorative shingles in gable ends, • Band of pickets, shingles, or half-timber like stickwork on the street elevation, • wood decorative accents such as trim boards with carved and incised shapes, • A decorative broken pediment may be employed 	
	Paint Colors	<ul style="list-style-type: none"> • Siding colors should be ; choose medium to strong colors • Trim and decorative element should always be white. • Additional colors may be appropriate if the house is highly detailed. 	<ul style="list-style-type: none"> • Standard House Paint

ARCHITECTURAL STYLES Colonial Revival

Examples of Forms, Shapes, and entryways



ARCHITECTURAL STYLE **Indianapolis Traditional**



Historic Example

Characteristics

Fall Creek Place, as well as most Indianapolis neighborhoods developed between the 1870s and 1930s, contains many houses that are vague representations of the architectural styles depicted in this Builder's Guide. They are generally simple in design and do not have a strong identity with a specific architectural style. They suggest a type of new housing that is compatible in almost any context because of its massing, siting and simplified use of traditional design elements. No attempt is made here to specify the features beyond what has been done for each of the other styles. Instead, photographic examples of the style are presented on the following page.

ARCHITECTURAL STYLE **Indianapolis Traditional**

Examples of Indianapolis Traditional Houses

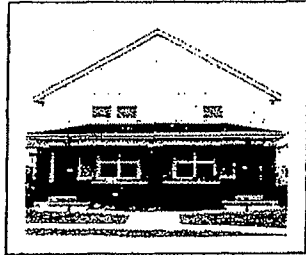
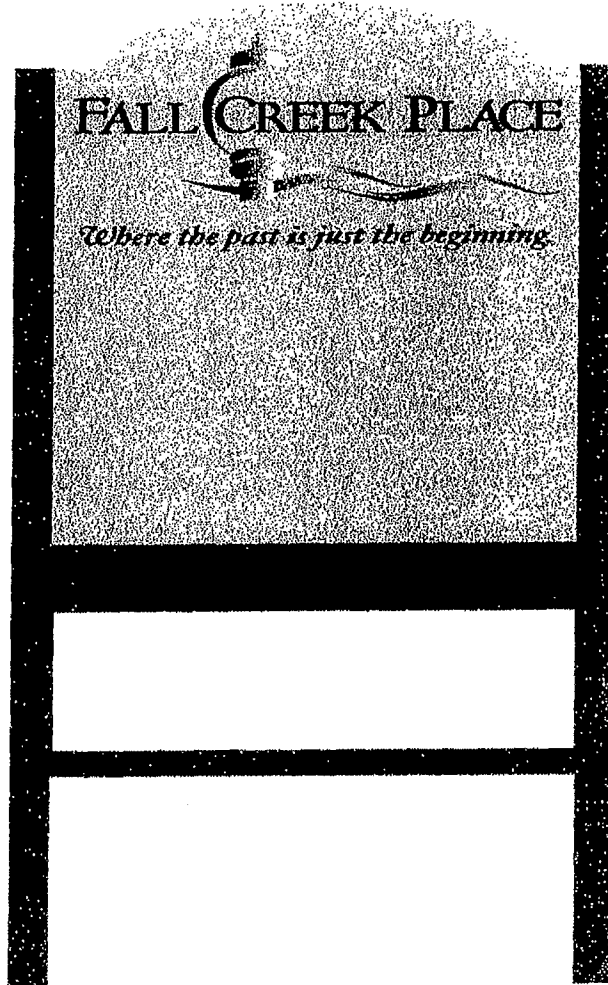


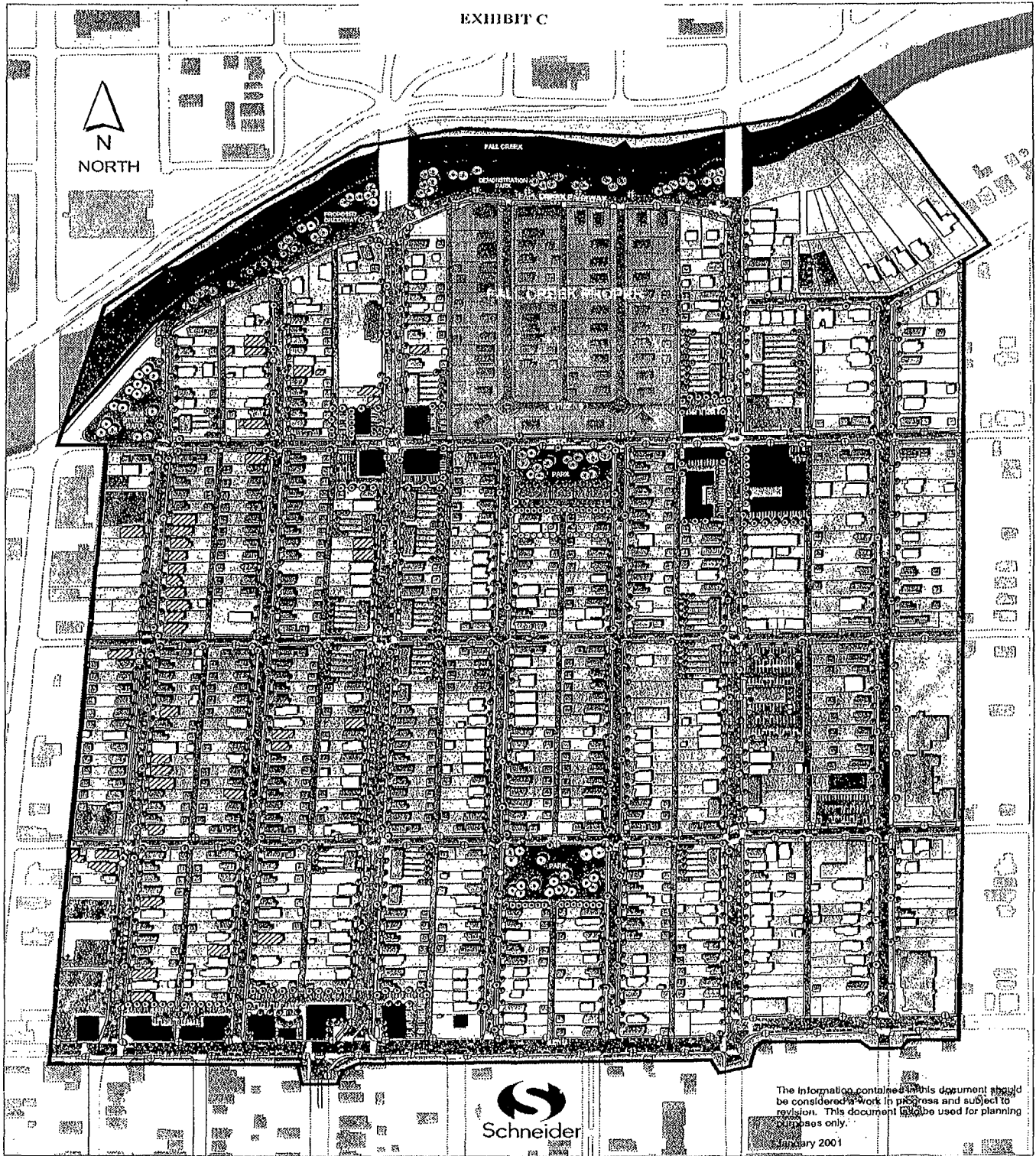
EXHIBIT C
Required Lot Sign



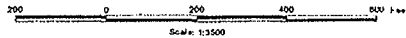
A City of Indianapolis, Mansur, and King Park Area Development Corporation Partnership

Fall Creek Place

EXHIBIT C



The information contained in this document should be considered a work in progress and subject to revision. This document is to be used for planning purposes only.
January 2001

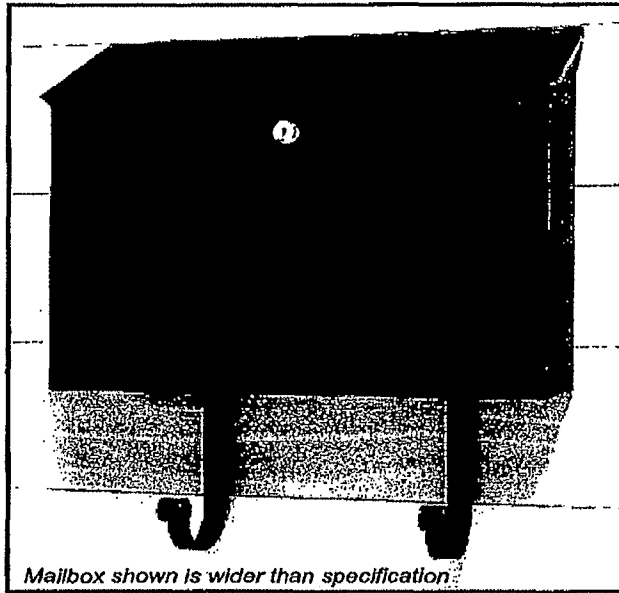


Building Legend

- Existing Business
- Multi-Family
- Existing Residential
- Existing Residential Rehabilitation
- Proposed Commercial Multi-Family
- Public
- Proposed Residential



Community Development Plan



Distributor: Mailbox Specialties
Model #: HB 16
Description: Black/Economy
Construction: Heavy gauge steel and non-locking.
Finish: Glossy black, electro-powder coated.
Mailbox Dimension:
Width = 8 1/2"
Height = 12"
Depth = 3 1/2"

Fax : 1-916-961-9707
Voice: 1-800-265-0041

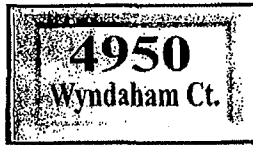
Note: Mailbox to be specified by owner
or owner's representative and approved by
architectural review board.

EXHIBIT E
Required Mail Box



A City of Indianapolis, Mansur, and King Park Area Development Corporation Partnership

Date Stone Example:



Description: Cast Stone
Each stone to contain the year
of construction:

2001

Address Marker Options:



or



Description:
Transom window with etched
Street Address:

2516

Description:
Standard address plaque
to be mounted below
the porch light.

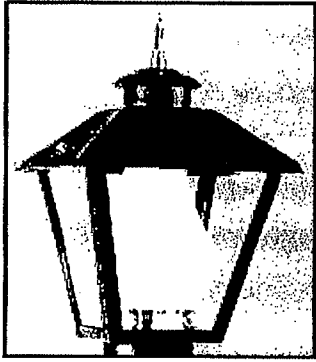
Note: Date stone is NOT a required element
for homes in Fall Creek Place.

EXHIBIT F
Required Address Marker

File: T:\3\3497\001\docs\report\finalreport_214\graphics\exhibit_e5.cdr



A City of Indianapolis, Mansur, and King Park Area Development Corporation Partnership



Description: Metal post lantern with clear glass panels. Frosted glass chimney.
Finish: Black
Glass: Clear & Frosted
Type: Metal
Notes: Fits 3 inch post (order separately).
Width/Diameter: 8 inch sq.
Height: 14-1/4 inch
Lamp Quantity: One
Lamp Type: Medium Base
Lamp Wattage: 100w max



SKU P5735-31
Catalog Page: 306
Category: Outdoor

Description: Wall lantern with textured glass.
Finish: Black
Glass: Textured
Type: Metal
Notes: H/CTR 5-1/2 inch



SKU: P5390-31PC
Category: Outdoor
Finish: Black

EXHIBIT D
 Required Lighting

Note: Lighting to be specified by owner or owner's representative and approved by architectural review board.

File: T:\3\13497\00\docs\report\finalreport_214\graphics\exhibit_e4.cdr



A City of Indianapolis, Mansur, and King Park Area Development Corporation Partnership

EXHIBIT B



BUILDER'S GUIDE

for Rehabilitation
Exterior Rehabilitation Standards
for Projects with City Participation

FALL CREEK PLACE
HOMEOWNERSHIP ZONE

Indianapolis, Indiana

FALL CREEK PLACE

KING PARK HOMEOWNERSHIP ZONE BUILDER'S GUIDE



FOREWORD

The purpose of these guidelines is to ensure that the rehabilitation of existing housing in the Fall Creek Place Homeownership Zone will be consistent in quality, appearance, and function to the new construction being initiated through the Home Ownership Zone Program. The objective is to mix new houses with old houses to create a renewed sense of community based on historic development patterns of the Fall Creek Place neighborhoods.

SPECIFICATIONS

ROOFING

REROOFING	<ul style="list-style-type: none"> • Asphalt or Fiberglas shingles • No standing seam metal, fully adhered or rolled roofing (unless slope is less than 4/12). • Avoid very white, very light colored and pure black shingles. • The following Owings Corning colors are used as examples of acceptable colors: <table style="margin-left: 20px; border: none;"> <tr> <td>Estate Gray</td> <td>Graystone</td> </tr> <tr> <td>Chapel Gray</td> <td>Weathered Wood</td> </tr> <tr> <td>Bark Brown</td> <td>Barnwood</td> </tr> <tr> <td>Forest Green (esp. for Craftsman style houses)</td> <td></td> </tr> </table> <p><i>[Any brand is acceptable provided the color is similar.]</i></p>	Estate Gray	Graystone	Chapel Gray	Weathered Wood	Bark Brown	Barnwood	Forest Green (esp. for Craftsman style houses)	
Estate Gray	Graystone								
Chapel Gray	Weathered Wood								
Bark Brown	Barnwood								
Forest Green (esp. for Craftsman style houses)									

SOFFITS

REPAIR OF SOFFITS	<ul style="list-style-type: none"> • Repair or replace with like material (car-siding with car-siding, tongue-in-groove with tongue-in-groove, etc.) • If new material is used, it should be similar in appearance to the original.
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GUTTERS & DOWNSPOUTS

REPLACEMENT OF EXISTING GUTTERS & DOWNSPOUTS <i>Original gutter & downspout pattern should be maintained if possible. If modifications are required to achieve positive drainage, efforts should be made to not change the appearance of the eaves and soffits.</i>	<ul style="list-style-type: none"> • Do not cut or alter rafter ends to accommodate new gutters. • Ogee or standard box gutters are usually acceptable. • Built-in gutters should be repaired rather than replaced. • If not economical to repair built-in gutters, the soffit/eave configuration can be modified as long as the finished outline is similar to the original. • Gutters & downspouts should match the body and/or trim color when painted.
INFORMATION	Call Indianapolis Historic Preservation Commission 327-4406 for detailed information on rebuilding gutters.

CHIMNEYS

MASONRY REPAIR	See Bricks & Masonry
REMOVAL	<ul style="list-style-type: none"> • Chimneys that are decorative, add character, or are expressed on the front or side wall of the house should not be removed above the roof line. • Simple chimneys on the rear half of the house may be removed if not needed.
NEW CHIMNEY	<ul style="list-style-type: none"> • Must be real brick if on the front or side façade. • May be through-the-wall if on the side or back. • No through-the-wall bump outs except on the back façade. • No wood, hardboard, vinyl or aluminum sided chimneys. • Metal stovepipe chimneys allowed if not highly visible from the street.

WOOD SIDING

REPAIR & PARTIAL REPLACEMENT	<ul style="list-style-type: none"> • Partial replacement should be in wood clapboards to match the original in size, profile and exposure. • Replacement wood should be smooth finished and have minimal defects and knots. • Hardboard siding cannot be used for partial replacement.
REPLACEMENT	<ul style="list-style-type: none"> • Total replacement should be in wood to match original dimensions (within 1/4th inch). • Hardboard might be considered for total replacement if individual, smooth finished boards are used with an overlap similar to the original wood. • Panelized wood siding should not be used. • Vinyl and aluminum siding may not be used to replace or cover original siding.

PORCHES

MISSING PORCH	<ul style="list-style-type: none"> • Missing front porches should be rebuilt.
NEW PORCH	<ul style="list-style-type: none"> • Where little or no evidence of the original porch remains, a new porch should reflect the typical porch form of the house style. • New columns should be characteristic to the house style. • Porch railings should be detailed in a traditional manner. • Porch flooring should be solid wood or concrete, depending on the style of the house. • No deck-like floors, railings, columns on the front or sides.
REMOVAL OF PORCH	<ul style="list-style-type: none"> • Total removal should only occur if structurally unsound or if the porch is a later design incompatible with the house style.
REPAIR OF PORCH	<ul style="list-style-type: none"> • Repair and retain original porches. • Reuse as much of the original decorative details as possible. • Non-original and uncharacteristic porch columns should be replaced with columns characteristic of the house style. • If replaced, flooring should match the type originally on the house.

DECORATIVE DETAILS & TRIM

MISSING DETAILS & TRIM	<ul style="list-style-type: none"> • Replace as much missing detailing as possible • If replacing missing elements (like brackets), they should be characteristic of the style of the house.
ADDING DETAILS & TRIM	<ul style="list-style-type: none"> • Avoid over-decorating the house with extraneous details that would never have existed on the style of house.
REPAIRING DETAILS & TRIM	<ul style="list-style-type: none"> • Repairs to existing details should be done with the same materials and should match the same dimensions.
REMOVING DETAILS & TRIM	<ul style="list-style-type: none"> • Remove those decorative elements that are recent additions and detract from the style of the house. • Do not remove original detailing from the house.

DOORS

EXISTING DOORS <i>Doors should be wood and should be in character with the style of the house.</i>	<ul style="list-style-type: none"> • <u>Original or in character:</u> Repair if at all possible. If not possible, replace with similar door style. • <u>Non-original and out of character:</u> Replace with a new door in character with the style of the house, whether in good condition or not.
REPLACEMENT DOORS	<ul style="list-style-type: none"> • <u>Options:</u> Wood or metal. • Metal doors should closely resemble wood doors in dimensions and profile. • Paintable metal doors are preferable. • New doors must fit the original door opening (a variance of 1 inch horizontally and vertically is allowed). • If the opening is previously altered; it should be returned to its original dimensions. • New doors should not be overly ornate; should complement the style of house.
STORM/SCREEN DOORS	<ul style="list-style-type: none"> • Metal storm/screen doors allowed. • Chose a color similar to primary door.

WINDOWS

REPAIR	<ul style="list-style-type: none"> • Windows needing minor repair should be retained and storm windows added.
REPLACEMENT	<ul style="list-style-type: none"> • Wood or vinyl clad wood (in a color) double hung windows are acceptable replacements, (unless the original window type was different, such as a fixed or casement window.) • Replacement windows should not be metal or extruded vinyl. • A replacement window should be no more than one inch different in dimension vertically or horizontally from the dimensions of the original window. • No snap-in muntins.
STORM WINDOWS	<ul style="list-style-type: none"> • Wood or aluminum storm windows allowed. • They should fit the opening properly • They should be painted a color to match the window trim and/or the window sash.
ADD, REMOVE & ALTER WINDOWS	<ul style="list-style-type: none"> • Previously closed up window openings on the front façade should be reopened to original size. • Original window openings on the front and side facades should not be removed. • Previously altered window openings on the front and side façades should be returned to original size. • New window openings and styles should not be added to front façade.

BRICK & MASONRY

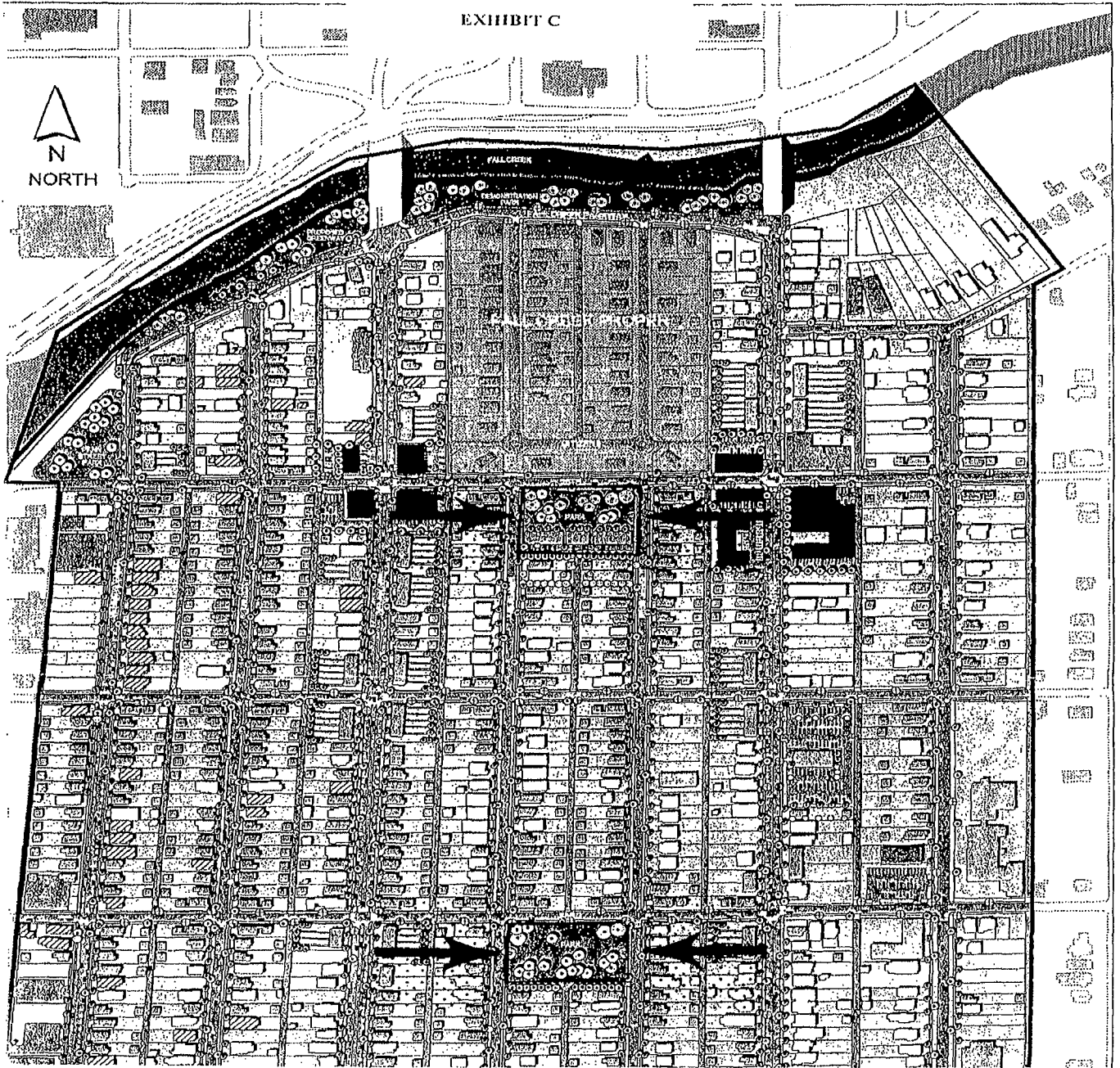
<p>SPALLING, RISING DAMP, CRUMBLING, EFFLORESCENCE</p> <p><i>Damage to masonry is generally caused by movement or water infiltration.</i></p>	<ul style="list-style-type: none"> • Find the causes and sources of the damage prior to the commencement of repairs. • Repair the causes of damage before undertaking masonry repairs.
<p>REPLACEMENT</p>	<ul style="list-style-type: none"> • If possible, turn bricks with damaged surfaces around so the good surface is exposed. • Use salvaged or new material which closely matches the original in size, color, and texture.
<p>REPOINTING</p>	<ul style="list-style-type: none"> • Clean loose mortar from the joints. Use care to not damage the brick edges. • Repoint mortar joints using a mortar mix closely matching the composition of the original. • Use a soft, high-lime mortar mix on soft historic bricks. Recipe: <u>Cement/Lime Mixture</u> 1 part Portland Cement; 3 parts hydrated lime <u>Soft Mortar</u> 3 to 5 parts sand; 1 part Cement/Lime Mixture • Repoint using same joint thickness, profile, tooling method and color as the original
<p>CLEANING</p> <p><i>Use the gentlest method possible. Stop at the first evidence of damage to masonry. Test patches should be used to assess the effect of any method.</i></p>	<ul style="list-style-type: none"> • Sandblasting: NEVER SANDBLAST • Pressure Wash: Use pressure <u>less than 600 psi</u>. Do test patch first to make sure the surface is not being damaged. • Chemicals: Use the mildest chemical possible. Do a test patch first to make sure the surface is not being damaged or discolored. • Grinding: Do not use mechanical abrasive techniques.
<p>WATERPROOFING</p> <p><i>Waterproofing coatings can cause greater long-term deterioration of masonry than weather and pollution.</i></p>	<ul style="list-style-type: none"> • Do not apply waterproof and water repellent coatings.
<p>PARGING</p>	<ul style="list-style-type: none"> • Apply a parge coat over brick ONLY if it is done to repair previously parged brick. • Do not apply tar, cement, plaster, stucco or any coating over brick that has never been coated.
<p>PAINTING</p> <p><i>It is not recommended to paint unpainted masonry since it prevents moisture from escaping</i></p>	<ul style="list-style-type: none"> • Do not paint unpainted masonry • Remove all loose and flaking paint before repainting. Use brushes and low pressure (less than 600 psi) water washing.
<p>FOUNDATIONS</p>	<p>When partial or total foundation replacement is required, the new foundation walls should be faced in the original material or new materials to match the original in appearance</p>
<p>INFORMATION</p>	<p>Call Indianapolis Historic Preservation Commission 327-4406 for detailed information on masonry restoration</p>

PAINING AND PAINTING COLORS

PAINT SCHEME	<ul style="list-style-type: none">• Generally avoid white for the body.• Use a color scheme compatible with the house style.• For trim, consider white, off white or a different shade of the body color.• Too many colors or conflicting colors can make the color scheme become too busy looking.
WOOD	<ul style="list-style-type: none">• Thoroughly scrape and prime wood before repainting.• Allow adequate time for drying out if powerwashing is used.
BRICK	<ul style="list-style-type: none">• Only paint brick if it was previously painted or it is absolutely necessary to cover up serious flaws.
INFORMATION	<ol style="list-style-type: none">1. The Indianapolis Historic Preservation Commission 327-4406 can be consulted for free advice on appropriate paint colors for specific house styles.2. Major paint companies such as Porter Paints, Sherwin Williams, etc. offer helpful brochures with historic paint schemes

Fall Creek Place

EXHIBIT C



Common Areas outlined in red with red arrows on original

6

FIRST AMENDMENT TO DECLARATION OF COVENANTS AND RESTRICTIONS OF THE FALL CREEK PLACE DEVELOPMENT

This 1st Amendment to Declaration (hereinafter referred to as the "Amendment"), made this 09th day of August, 2002, by the Consolidated City of Indianapolis, Indiana by and through its Department of Metropolitan Development, on behalf of the Metropolitan Development Commission of Marion County, Indiana, acting in its capacity as the Redevelopment Commission of Marion County (hereinafter referred to as the "Declarant"), as joined in by the Additional Declarants (See Exhibit A attached hereto) ("Additional Declarants").

WHEREAS, a Declaration of Covenants and Restrictions of the Fall Creek Place Development was prepared under date of January 14, 2002 and was recorded in the Office of the Marion County Recorder on January 17, 2002 as Instrument #2002-0011112 and has been amended from time to time (the "Declaration");

WHEREAS, the Additional Declarants, being the owners of the properties listed on Exhibit B attached hereto (the "Additional Real Estate"), desire to amend the Declaration to subject the Additional Real Estate to the Declaration;

THEREFORE, the parties hereby agree as follows:

- 1. That the Additional Real Estate listed on Exhibit B attached hereto and made a part hereof shall hereby be subject to the Declaration and the parties listed above as Additional Declarants join in this Amendment for such purpose.

IN WITNESS WHEREOF, the above noted Declarant and Additional Declarants hereby make this Amendment to Declaration as set forth above.

CONSOLIDATED CITY OF INDIANAPOLIS, Acting by and through its DEPARTMENT OF METROPOLITAN DEVELOPMENT, on behalf of the METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY, acting in its capacity as the REDEVELOPMENT COMMISSION

By: [Signature] Maury Plambeck, Director

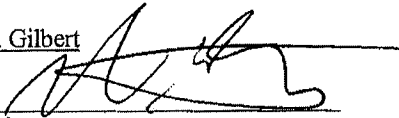
MARTHA A. WOMACKS MARION COUNTY RECORDER AUG-9-02 SUBJECT TO THE AGREEMENT FOR TRANSFER

08/09/02 01:49PM HANDA MARTIN MARION CITY RECORDER JMM 20.00 PAGES: 6 Inst # 2002-0150156

ADDITIONAL DECLARANTS

Name

Ronald M. Gilbert

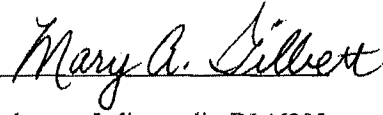
Signature: 

2218 N. Delaware, Indianapolis, IN 46205

Address

Name

Mary A. Gilbert

Signature: 

2218 N. Delaware, Indianapolis, IN 46205

Address

IMAGE/COPY PROPERTY OF MARION COUNTY, IN FOR LICENSEE ONLY. NOT FOR RESALE. IC 36-2-7-10

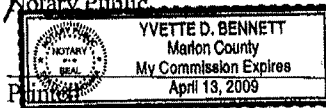
This Instrument prepared by Kyle A. Schmutzler Esq., Bingham McHale LLP, 10 W. Market Street,
2700 Market Tower, Indianapolis, IN 46204, (317) 635-8900

STATE OF INDIANA)
) SS:
COUNTY OF MARION)

Before me, a Notary Public in and for said County and State, personally appeared Maury Plambeck, Director of the Department of Metropolitan Development, who acknowledged execution of the foregoing Amendment to Declaration for and on behalf of said Department and who, having been duly sworn, stated that the representations therein contained are true.

Witness my hand and Notarial Seal this 9th day of August, 2002.

Yvette D. Bennett
Notary Public



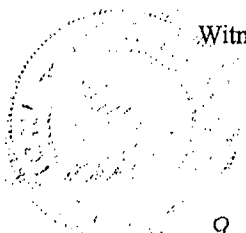
Commission Expiration Date

County of Residence

STATE OF INDIANA)
) SS: 308 46 7653
COUNTY OF MARION)

Before me, a Notary Public in and for said County and State, personally appeared Ronald M. Gilbert, who acknowledged execution of the foregoing Amendment to Declaration, and who having been duly sworn, stated that the representations therein contained are true.

Witness my hand and Notarial Seal this 5th day of August, 2002.



Patricia L Demaree
Notary Public

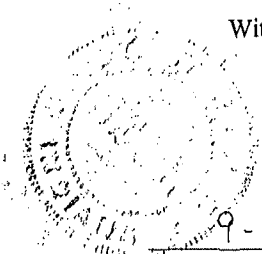
Patricia L. Demaree
Printed

9-10-07
Commission Expiration Date
Marion # 461986
County of Residence

STATE OF INDIANA)
) SS: 308 46 7653
COUNTY OF MARION)

Before me, a Notary Public in and for said County and State, personally appeared Mary A. Gilbert who acknowledged execution of the foregoing Amendment to Declaration and who, having been duly sworn, stated that the representations therein contained are true.

Witness my hand and Notarial Seal this 5th day of August, 2002.



Patricia L Demaree
Notary Public

Patricia L Demaree
Printed

9-10-07
Commission Expiration Date
Marion # 461986
County of Residence

EXHIBIT A

ADDITIONAL DECLARANTS

Ronald M. and Mary A. Gilbert

610214

EXHIBIT B

ADDITIONAL REAL ESTATE

2218 N. Delaware

Martindales Lincoln Pk Add 1st Sec L5 B3 Parcel #1020559

610214

①

**SECOND AMENDMENT TO DECLARATION OF COVENANTS
AND RESTRICTIONS OF THE
FALL CREEK PLACE DEVELOPMENT**

This Second Amendment to Declaration (hereinafter referred to as the "Amendment"), made this 16th day of Sept, 2002, by the Consolidated City of Indianapolis, Indiana by and through its Department of Metropolitan Development, on behalf of the Metropolitan Development Commission of Marion County, Indiana, acting in its capacity as the Redevelopment Commission of Marion County (hereinafter referred to as the "Declarant"), as joined in by the Additional Declarants (See Exhibit A attached hereto) ("Additional Declarants").

WHEREAS, a Declaration of Covenants and Restrictions of the Fall Creek Place Development was prepared under date of January 14, 2002 and was recorded in the Office of the Marion County Recorder on January 17, 2002 as Instrument #2002-0011112 and has been amended from time to time (the "Declaration");

WHEREAS, the Additional Declarants, being the owners of the properties listed on Exhibit B attached hereto (the "Additional Real Estate"), desire to amend the Declaration to subject the Additional Real Estate to the Declaration;

THEREFORE, the parties hereby agree as follows:

1. That the Additional Real Estate listed on Exhibit B attached hereto and made a part hereof shall hereby be subject to the Declaration and the parties listed above as Additional Declarants join in this Amendment for such purpose.

IN WITNESS WHEREOF, the above noted Declarant and Additional Declarants hereby make this Amendment to Declaration as set forth above.

**CONSOLIDATED CITY OF INDIANAPOLIS,
Acting by and through its DEPARTMENT OF
METROPOLITAN DEVELOPMENT, on behalf of the
METROPOLITAN DEVELOPMENT COMMISSION
OF MARION COUNTY, acting in its capacity as the
REDEVELOPMENT COMMISSION**

By: Mary Plambeck
Mary Plambeck, Director

MARTHA A. WOMACKS
439019 SEP 19 2002
DUTY OFFICE FOR PAYATION
SUBJECT TO FINAL RECEIPTANCE
FOR TRANSFER

09/19/02 11:26AM WANDA HARTIN MARION CTY RECORDER JRC 20.00 PAGES: 6

Inst # 2002-0178316

ADDITIONAL DECLARANTS

Name

Connie Childress

Signature:

Connie Childress

2428 N Park, (Formerly 2432 N. Park) Indianapolis, IN 46205

Address

This Instrument prepared by Kyle A. Schmutzler Esq., Bingham McHale LLP, 10 W. Market Street,
2700 Market Tower, Indianapolis, IN 46204, (317) 635-8900

IMAGE/COPY PROPERTY OF MARION COUNTY, IN FOR LICENSEE ONLY. NOT FOR RESALE, IC 36-2-7-10

STATE OF INDIANA)
) SS:
COUNTY OF MARION)

Before me, a Notary Public in and for said County and State, personally appeared Maury Plambeck, Director of the Department of Metropolitan Development, who acknowledged execution of the foregoing Amendment to Declaration for and on behalf of said Department and who, having been duly sworn, stated that the representations therein contained are true.

Witness my hand and Notarial Seal this 16th day of September 2002.

Gale S. McGoy
Notary Public

Gale S. McGoy
Printed

February 21, 2008
Commission Expiration Date
Marion
County of Residence

STATE OF INDIANA)
) SS:
COUNTY OF MARION)

Before me, a Notary Public in and for said County and State, personally appeared Connie Childress, who acknowledged execution of the foregoing Amendment to Declaration, and who having been duly sworn, stated that the representations therein contained are true.

Witness my hand and Notarial Seal this 4th day of September 2002.

Linda S. Hirst
Notary Public

Linda S. Hirst
Printed

3-15-07
Commission Expiration Date
Hancock
County of Residence

EXHIBIT A
ADDITIONAL DECLARANTS

Connie Childress

610214

EXHIBIT B

ADDITIONAL REAL ESTATE

2428 N. Park (Formerly 2432 N. Park)

J A & M Bruces Add L94 Parcel #1023364

610214

37 (circled) and a circled signature

MARTHA A. WOMACKS
497366 OCT 31 8

COPIES INTENDED FOR PUBLIC USE
SUBJECT TO FINAL ACCEPTANCE
FOR TRANSFER

**THIRD AMENDMENT TO DECLARATION OF COVENANTS
AND RESTRICTIONS
FALL CREEK PLACE DEVELOPMENT**

This Third Amendment to Declaration (hereinafter referred to as the "Third Amendment"), made this 28th day of October, 2003 by the Consolidated City of Indianapolis, Indiana by and through its Department of Metropolitan Development, on behalf of the Metropolitan Development Commission of Marion County, Indiana, acting in its capacity as the Redevelopment Commission of Marion County (hereinafter referred to as the "Declarant").

WHEREAS, a Declaration of Covenants and Restrictions of the Fall Creek Place Development was prepared under date of January 14, 2002, and was recorded in the Offices of the Marion County Recorder on January 17, 2002 as Instrument #2002-0011112;

WHEREAS, a First Amendment To Declaration of Covenants and Restrictions of the Fall Creek Place Development was prepared under date of August 9, 2002 and was recorded in the Office of the Marion County Recorder on August 9, 2002 as Instrument # 2002-0150156, a Second Amendment To Declaration of Covenants and Restrictions of the Fall Creek Place Development was prepared under date of September 16, 2002 and was recorded in the Office of the Marion County Recorder on September 19, 2002 as Instrument #2002-0178316 (the Declaration and all amendments shall be referred to herein as the "Declaration") and

WHEREAS, the Declarant wishes to further amend the Declaration.

THEREFORE, the Declaration is hereby amended as follows:

1. Exhibit A, Exhibit B and Exhibit C, attached hereto and made a part hereof, shall amend and restate Exhibit A, Exhibit B and Exhibit C of the Declaration.
2. All other terms and provisions of the Declaration are hereby ratified and affirmed.

IN WITNESS WHEREOF, the above noted Declarant hereby make this Third Amendment to Declaration as set forth above.

Inst # 2003-0236152
10/31/03 01:29PM WANDA MARTIN MARION CTY RECORDER LNH 80.00 PAGES: 36

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CONSOLIDATED CITY OF INDIANAPOLIS,
Acting by and through its DEPARTMENT OF
METROPOLITAN DEVELOPMENT, on behalf of the
METROPOLITAN DEVELOPMENT COMMISSION
OF MARION COUNTY, acting in its capacity as the
REDEVELOPMENT COMMISSION

By: Maury Plambeck
Maury Plambeck, Director

IMAGE/COPY PROPERTY OF MARION COUNTY, INDIANA

STATE OF INDIANA)
) SS:
COUNTY OF MARION

Before me, a Notary Public in and for said County and State, personally appeared Maury Plambeck, Director of the Department of Metropolitan Development, who acknowledged execution of the foregoing Fourth Amendment to Declaration for and on behalf of said Department and who, having been duly sworn, stated that the representations therein contained are true.

Witness my hand and Notarial Seal this 30th day of October, 2003.

[Signature]
Notary Public
H. H. AGO
Printed

9-29-2009
Commission Expiration Date
Marion
County of Residence

NOT FOR RESALE, IC 36-2-7-10

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Exhibit A Builders Guide for New Construction

Exhibit B Master Development Plan

Exhibit C Required Lot Sign

Exhibit D Required Lighting

Exhibit E Required Mail Box

Exhibit F Required Address Marker

1. GENERAL OVERVIEW

1.1 INTRODUCTION

The redevelopment of Fall Creek Place involves the building of approximately three hundred forty (340) new homes that will comprise of single family detached homes and attached townhomes. In addition, approximately forty-six (46) existing homes are slated for rehabilitation. The overall map and master plan for Fall Creek Place is provided in Exhibit B for reference. Coupled with the revitalization of commercial nodes, the existing features and design remnants of a turn of the century urban neighborhood has been planned with "new urbanism" design principles to provide a guiding blueprint for the revitalization of Fall Creek Place.

These Guidelines do not seek to impose an overriding style or an artificial theme, however, they will assist the City of Indianapolis in successfully re-establishing positive design character inherent in this neighborhood during the early 1900's.

1.2 INTENT OF GUIDELINES

The intent of these Guidelines is to establish minimum standards of design consistent with the level of development, character, and quality desired for Fall Creek Place. The requirements are intended to assist developers, contractors and homeowners in the planning, design and construction of site improvements, homes and to establish and maintain a neighborhood community image that is consistent with the Master Plan in place for Fall Creek Place.

The Design Guidelines are not a "building code," but rather recommendations for quality design. They are the criteria by which house plans will be reviewed and approved or disapproved and, therefore, will be carefully followed. It should be noted, however, that there are certain requirements, which may not be deviated from.

These Guidelines apply to all properties within Fall Creek Place including, and are in addition to the requirements of government jurisdictions. They will serve as the basis for review of residential construction by the Design Review Committee (DRC) as defined by the Fall Creek Place Homeowners Association documents. All standards set forth herein are subject to the criteria established in current Federal, State, or local regulations, whichever is most restrictive. These guidelines shall not impose any requirements in violation of applicable Federal, State, or local regulations.

In addition, the DRC shall review plans of all proposed modifications, additions or alterations made to existing units, structures, or open space areas.

These Guidelines are intended to serve for the life of the project and accordingly may be amended by the Fall Creek Place Homeowners Association. Such amendments will be adopted as addenda to this document. The DRC reserves the right to waive or vary any of the procedures or standards set forth herein at its sole discretion for good cause shown. As an example, but not limited to, it may consider individually the merits of any project due to special site conditions. Any project reviewed for special consideration must be shown to benefit the specific site, adjacent areas, or the neighborhood community as a whole and any such waiver must be in writing prior to commencement of improvements.

By encouraging quality and attention to detail throughout the neighborhood community, the aesthetic harmony, natural tranquillity and overall historical significance of the neighborhood community standards at Fall Creek Place will be enhanced and preserved through the DRC and Design Guidelines.

It should be noted that a separate Builder's Guide for New Construction was prepared offering a more illustrative detailed guide for new residential construction. This guide is presented within the Design Guidelines as Exhibit A and will be referenced throughout the Design Guideline documents.

1.3 OVERALL DESIGN CONCEPT

Fall Creek Place will have a neighborhood community image and identity in harmony with the physical characteristics of the area, and a visual frame of reference. This visual framework consists of the streetscape; design treatment of public and private spaces (residences, open spaces, parks, etc.); and the expression of architecture and the built environment.

All of these elements are viewed from one common denominator: generally, to create harmony between an existing urban fabric and new elements to ensure that all new structures and uses are compatible with the prevailing historic character in the surrounding area.

In responding to the Fall Creek Place development, compatible designs should not seek to imitate the historic architecture found in Fall Creek Place, but should instead reflect their surroundings in terms of mass, scale, color, materials, and building arrangement. It is imperative to recognize the character of the site and the surrounding area. The diversity of land uses identified in the site analysis indicated that Fall Creek Place was once a thriving urban neighborhood, complete with civic and commercial uses providing support to its residents.

The Design Guidelines play a vital role in revitalizing Fall Creek Place development by identifying conditions where design opportunities and potentials exist. The elements of sequence, hierarchy, and their application through design treatment are influencing factors that contribute to the clarity of destination, arrival, and decision making for the traveler of the streets. Significant public input was obtained during the master planning process. A total of ten overall guiding principles should drive future physical improvements to the Fall Creek Place neighborhood. These are listed below:

1. Residential Land Use. Renovate selected existing homes and provide new housing options in varied price ranges while maintaining an architectural identity.
2. Commercial Land Use. Establish active commercial districts of appropriate scale and architecture in logical locations to bring neighborhood services and businesses to residents of Fall Creek Place.
3. Civic Land Use. Encourage existing civic uses including churches, schools, and community organizations to remain while new civic uses are established within the neighborhood engaging residents in local events.
4. Surface Parking Lots. Reevaluate existing surface parking lot areas for needed improvement, and identify new surface parking areas to serve commercial businesses and civic uses.
5. Open Space and Parks. Enhance existing open spaces and develop new parks centrally located recognizing the need for passive, active, and social recreation areas further enhancing the quality of neighborhood life.
6. Gateways. Identify existing and potential gateway opportunities at significant entrance locations throughout the study area to establish a sense of community and arrival within Fall Creek Place.
7. Vehicular Traffic. Maintain existing vehicular traffic flow directions and lanes and suggest improvements for driver clarification. Improve pedestrian safety and enhance the streetscape along corridors.
8. Street Design Hierarchy. Maintain existing street hierarchy while considering right-of-way and pavement width, number of traffic and parking lanes, traffic speed, signalized intersections, and alignment.

REVISED Declaration of Covenants and Restrictions of the Fall Creek Place Development EXHIBIT 'A'

Address	Dir	Street Name	Parcel #	Legal Description
114	E	22ND	1036320	Martindales Lincoln Pk Add 1st Sec L32 B2
517	E	23RD	1025977	Bruce Place 37FT E End 20FT N SIDE L17
319	E	24TH	1093530	Martindales Lincoln Pk Add 2nd Sec 43.70FT W END L15 & L16 ALSO 43.70FT X 1.5FT NW COR L14 B8
323	E	24TH	1068148	Martindales Lincoln Pk Add 2nd Sec 93FT E END L16 & 5.5FT N SIDE OF 93.5FT E END L15 B8
509	E	24TH	1056168	M BRUCES SUB J A & M BRUCES ADD L11
523	E	24TH	1031011	T L SUTHERLANDS SUB J A & M BRUCES ADD L4
163	E	25TH	1039025	Martindales Lincoln Pk Add 3rd SEC 50FT W END L14 & L15 B15
610	E	25TH	1052262	Wrights Pk Ave ADD 32FT E OF 72FT W END L1 & 5FT S & ADJ
614	E	25TH	1017333	Wrights Pk Ave ADD 38FT E OF 104FT W END L1 & 5FT S OF & ADJ
620	E	25TH	1044295	Wrights Pk Ave ADD 40FT E END L1 & 5FT S OF & ADJ
2210	N	ALABAMA	1066797	Martindales Lincoln Pk ADD 1ST SEC L3 B4
2233	N	ALABAMA	1005703	Martindales Lincoln Pk ADD 1ST SEC L24 B5
2238	N	ALABAMA	1013702	Martindales Lincoln Pk ADD 1ST SEC L10 B4
2249	N	ALABAMA	1069910	Martindales Lincoln Pk ADD 1ST SEC L20 B5
2254	N	ALABAMA	1044429	Martindales Lincoln Pk ADD 1ST SEC L14 B4
2257	N	ALABAMA	1010078	Martindales Lincoln Pk ADD 1ST SEC L18 B5
2258	N	ALABAMA	1063347	Martindales Lincoln Pk ADD 1ST SEC L15 B4
2261	N	ALABAMA	1002853	Martindales Lincoln Pk ADD 1ST SEC L17 B5 EX 50FT E END
2262	N	ALABAMA	1043806	Martindales Lincoln Pk ADD 1ST SEC L16 B4
2302	N	ALABAMA	1023424	Martindales Lincoln Pk ADD 2ND SEC L1 B9
2303	N	ALABAMA	1102922	Martindales Lincoln Pk ADD 2ND SEC L32 B8
2307	N	ALABAMA	1102921	Martindales Lincoln Pk ADD 2ND SEC L31 B8
2310	N	ALABAMA	1018799	Martindales Lincoln Pk ADD 2ND SEC L3 B9
2311	N	ALABAMA	1102920	MARTINDALES LINCOLN PK ADD 2ND SEC L30 B8
2314	N	ALABAMA	1073686	MARTINDALES LINCOLN PK ADD 2ND SEC L4 B9
2315	N	ALABAMA	1102919	MARTINDALES LINCOLN PK ADD 2ND SEC L29 B8
2318	N	ALABAMA	1042808	MARTINDALES LINCOLN PK ADD 2ND SEC L15 B9
2319	N	ALABAMA	1102918	MARTINDALES LINCOLN PK ADD 2ND SEC L28 B8
2323	N	ALABAMA	1096510	MARTINDALES LINCOLN PK ADD 2ND SEC L27 B8
2330	N	ALABAMA	1030313	MARTINDALES LINCOLN PK ADD 2ND SEC L8 B9
2339	N	ALABAMA	1050278	MARTINDALES LINCOLN PK ADD 2ND SEC L23 B8
2345	N	ALABAMA	1030742	MARTINDALES LINCOLN PK ADD 2ND SEC L22 B8
2349	N	ALABAMA	1052513	MARTINDALES LINCOLN PK ADD 2ND SEC L21 B8

REVISED Declaration of Covenants and Restrictions of the Fall Creek Place Development EXHIBIT 'A'

Address	Dir	Street Name	Parcel #	Legal Description
2350	N	ALABAMA	1060770	MARTINDALES LINCOLN PK ADD 2ND SEC L13 B9
2354	N	ALABAMA	1079209	MARTINDALES LINCOLN PK ADD 2ND SEC L14 B9
2363	N	ALABAMA	1055146	MARTINDALES LINCOLN PK ADD 2ND SEC 55FT W END L17 B8
2401	N	ALABAMA	1036079	MARTINDALES LINCOLN PK ADD 3RD SEC L30 B17
2402	N	ALABAMA	1001335	MARTINDALES LINCOLN PK ADD 3RD SEC L1 B16
2405	N	ALABAMA	1007926	MARTINDALES LINCOLN PK ADD 3RD SEC L29 B17
2406	N	ALABAMA	1004794	MARTINDALES LINCOLN PK ADD 3RD SEC L2 B16
2450	N	ALABAMA	1061461	MARTINDALES LINCOLN PK ADD 3RD SEC L13 B16
2457	N	ALABAMA	1088506	Martindales Lincoln Pk ADD 3RD SEC L16 B17 ALSO 31FT EL X 72.5FT SL NE COR L17 B17
2541	N	ALABAMA	1038627	DOUGLASS PARK ADD L118
2601	N	ALABAMA	1022682	DOUGLASS PARK ADD L120
2602	N	ALABAMA	1102279	FALL CREEK PROPER 30FT S L14
2614	N	ALABAMA	1014559	DOUGLASS PARK ADD L92
2618	N	ALABAMA	1003760	DOUGLASS PARK ADD L91
2624	N	ALABAMA	1029800	DOUGLASS PARK ADD L90
2625	N	ALABAMA	1034581	DOUGLASS PARK ADD L126
2626	N	ALABAMA	1029799	DOUGLASS PARK ADD EX 5FT N SIDE L89
2628	N	ALABAMA	1043934	DOUGLASS PARK ADD L88 & 5FT N SIDE L89
2214	CENTRAL		1029850	MARTINDALES LINCOLN PK ADD 1ST SEC L4 B6
2240	CENTRAL		1011248	MARTINDALES LINCOLN PK ADD 1ST SEC L10 B6
2251	CENTRAL		1018472	BRUCE PLACE ADD 33FT S SIDE L17
2252	CENTRAL		1059742	MARTINDALES LINCOLN PK ADD 1ST SEC L13 B6
2256	CENTRAL		1038554	MARTINDALES LINCOLN PK ADD 1ST SEC L14 B6
2259	CENTRAL		1048317	BRUCE PLACE ADD 60FT W END L18
2260	CENTRAL		1022907	MARTINDALES LINCOLN PK ADD 1ST SEC L15 B6
2264	CENTRAL		1068485	MARTINDALES LINCOLN PK ADD 1ST SEC L16 B6
2329	CENTRAL		1076756	M BRUCES SUB J A & M BRUCES ADD L3
2335	CENTRAL		1039071	M BRUCES SUB J A & M BRUCES ADD L5
2362	CENTRAL		1039408	STEVENSONS SUB L16 B7 EX 46.67FT W END
2365	CENTRAL		1056167	M BRUCES SUB J A & M BRUCES ADD L10
2414	CENTRAL		1004642	MARTINDALES LINCOLN PK ADD 3RD SEC L4 B18
2422	CENTRAL		1043742	MARTINDALES LINCOLN PK ADD 3RD SEC L6 B18
2458	CENTRAL		1067728	MARTINDALES LINCOLN PK ADD 3RD SEC L15 B18
2521	CENTRAL		1009851	WRIGHTS PARK AVE ADD 41FT N SIDE L21
2525	CENTRAL		1023523	WRIGHTS PARK AVE ADD L22 & L23

REVISED Declaration of Covenants and Restrictions of the Fall Creek Place Development EXHIBIT 'A'

Address	Dir	Street Name	Parcel #	Legal Description
2545		CENTRAL	1060740	WRIGHTS PARK AVE ADD 47FT W END L25
2222	N	DELAWARE	1030806	MARTINDALES LINCOLN PK ADD 1ST SEC L6 B3
2225	N	DELAWARE	1070040	MARTINDALES LINCOLN PK ADD 1ST SEC L26 B4
2233	N	DELAWARE	1069943	MARTINDALES LINCOLN PK ADD 1ST SEC L24 B4
2237	N	DELAWARE	1043952	MARTINDALES LINCOLN PK ADD 1ST SEC L23 B4
2262	N	DELAWARE	1042053	MARTINDALES LINCOLN PK ADD 1ST SEC L16 B3
2263	N	DELAWARE	1057435	MARTINDALES LINCOLN PK ADD 1ST SEC L17 B4
2309	N	DELAWARE	1057606	MARTINDALES LINCOLN PK ADD 2ND SEC L30 B9
2310	N	DELAWARE	1058525	MARTINDALES LINCOLN PK ADD 2ND SEC L3 B10
2313	N	DELAWARE	1020917	MARTINDALES LINCOLN PK ADD 2ND SEC L29 B9
2317	N	DELAWARE	1020916	MARTINDALES LINCOLN PK ADD 2ND SEC L28 B9 EX PT FOR ST
2321	N	DELAWARE	1020915	MARTINDALES LINCOLN PK ADD 2ND SEC L27 B9 EX PT FOR ST
2349	N	DELAWARE	1039072	MARTINDALES LINCOLN PK ADD 2ND SEC L20 B9 EX PT FOR ST
2353	N	DELAWARE	1012936	FALL CREEK PLACE HPR PHASE 3 COMMON AREA WITHIN PERIMETER OF PLA
2354	N	DELAWARE	1006480	FALL CREEK PLACE HPR UNIT 5 PHASE 4
2355	N	DELAWARE	1103266	FALL CREEK PLACE HPR UNIT 4 PHASE 3
2356	N	DELAWARE	1103271	FALL CREEK PLACE HPR UNIT 4 PHASE 4
2357	N	DELAWARE	1103265	FALL CREEK PLACE HPR UNIT 3 PHASE 3
2358	N	DELAWARE	1103270	FALL CREEK PLACE HPR UNIT 3 PHASE4
2359	N	DELAWARE	1103264	FALL CREEK PLACE HPR UNIT 2 PHASE 3
2360	N	DELAWARE	1103269	FALL CREEK PLACE HPR UNIT 2 PHASE 4
2361	N	DELAWARE	1015821	FALL CREEK PLACE HPR UNIT 1 PHASE 3
2362	N	DELAWARE	1103268	FALL CREEK PLACE HPR UNIT 1 PHASE 4
2404	N	DELAWARE	1103254	FALL CREEK PLACE HPR UNIT 2 PHASE 1
2405	N	DELAWARE	1103260	FALL CREEK PLACE HPR UNIT 3 PHASE 2
2406	N	DELAWARE	1103255	FALL CREEK PLACE HPR UNIT 3 PHASE 1
2407	N	DELAWARE	1103261	FALL CREEK PLACE HPR UNIT 4 PHASE 2
2408	N	DELAWARE	1103256	FALL CREEK PLACE HPR UNIT 4 PHASE 1
2409	N	DELAWARE	1103262	FALL CREEK PLACE HPR UNIT 5 PHASE 2
2410	N	DELAWARE	1103257	FALL CREEK PLACE HPR UNIT 5 PHASE 1
2434	N	DELAWARE	1037757	MARTINDALES LINCOLN PK ADD 3RD SEC L9 B15
2437	N	DELAWARE	1018778	MARTINDALES LINCOLN PK ADD 3RD SEC L21 B16 EX PT FOR ST
2441	N	DELAWARE	1048207	MARTINDALES LINCOLN PK ADD 3RD SEC L20 B16 EX PT FOR ST
2445	N	DELAWARE	1012205	MARTINDALES LINCOLN PK ADD 3RD SEC L19 B16 EX PT FOR ST
2453	N	DELAWARE	1069559	MARTINDALES LINCOLN PK ADD 3RD SEC L17 B16 EX PT FOR ST

REVISED Declaration of Covenants and Restrictions of the Fall Creek Place Development EXHIBIT 'A'

Address	Dir	Street Name	Parcel #	Legal Description
2454	N	DELAWARE	1047144	MARTINDALES LINCOLN PK ADD 3RD SEC L14 B15 EX 50FT W END & EX PT FOR ST
2457	N	DELAWARE	1069560	MARTINDALES LINCOLN PK ADD 3RD SEC L16 B16 EX PT FOR ST
2460	N	DELAWARE	1033814	MARTINDALES LINCOLN PK ADD 3RD SEC L15 B15 EX 50FT W END & EX PT FOR ST
145	E	FALL CREEK PKWY	1028793	DOUGLASS PARK ADD 66FT E END L44 THRU L46 & LOT E EX 1FT S SIDE OF 66FT E END OF L44
2201	N	NEW JERSEY	1048242	MARTINDALES LINCOLN PK ADD 31ST SEC L32 B6
2206	N	NEW JERSEY	1024438	MARTINDALES LINCOLN PK ADD 1ST SEC L2 B5 EX 32FT X 42FT SW COR
2207	N	NEW JERSEY	1039411	MARTINDALES LINCOLN PK ADD 1SEC L30 B6
2237	N	NEW JERSEY	1053869	MARTINDALES LINCOLN PK ADD 1ST SEC L23 B6
2242	N	NEW JERSEY	1041392	MARTINDALES LINCOLN PK ADD 1ST SEC L11 B5
2248	N	NEW JERSEY	1073249	MARTINDALES LINCOLN PK ADD 1ST SEC L12 B5
2251	N	NEW JERSEY	1067185	MARTINDALES LINCOLN PK ADD 1ST SEC L20 B6
2314	N	NEW JERSEY	1019198	MARTINDALES LINCOLN PK ADD 2ND SEC L4 B8
2318	N	NEW JERSEY	1037929	MARTINDALES LINCOLN PK ADD 2ND SEC L5 B8
2322	N	NEW JERSEY	1072273	MARTINDALES LINCOLN PK ADD 2ND SEC L6 B8
2344	N	NEW JERSEY	1013331	MARTINDALES LINCOLN PK ADD 2ND SEC L11 B8
2348	N	NEW JERSEY	1071801	MARTINDALES LINCOLN PK ADD 2ND SEC L12 B8
2352	N	NEW JERSEY	1077785	MARTINDALES LINCOLN PK ADD 2ND SEC L13 B8
2363	N	NEW JERSEY	1057410	STEVENSONS ADD L17 B7
2401	N	NEW JERSEY	1038786	MARTINDALES LINCOLN PK ADD 3RD SEC L30 & 11FT S SIDE L29 B18
2412	N	NEW JERSEY	1041085	MARTINDALES LINCOLN PK ADD 3RD SEC L3 B17
2416	N	NEW JERSEY	1062175	MARTINDALES LINCOLN PK ADD 3RD SEC L4 B17
2419	N	NEW JERSEY	1056718	MARTINDALES LINCOLN PK ADD 3RD SEC L26 B18
2423	N	NEW JERSEY	1052728	MARTINDALES LINCOLN PK ADD 3RD SEC L25 B18
2427	N	NEW JERSEY	1005633	MARTINDALES LINCOLN PK ADD 3RD SEC L24 B18
2428	N	NEW JERSEY	1002720	MARTINDALES LINCOLN PK ADD 3RD SEC L7 B17
2432	N	NEW JERSEY	1010453	MARTINDALES LINCOLN PK ADD 3RD SEC L8 B17
2435	N	NEW JERSEY	1025170	MARTINDALES LINCOLN PK ADD 3RD SEC L22 & S SIDE L21 B18
2461	N	NEW JERSEY	1023877	MARTINDALES LINCOLN PK ADD 3RD SEC L16 & 5FT N OF 50FT E END L17 & 2FT N OF 82.60FT E SIDE L17 B18
2210	N	PARK	1006240	BRUCE PLACE ADD L26
2218	N	PARK	1067335	BRUCE PLACE ADD EX 36FT S SIDE L25 7FT FRONT 4FT REAR S SIDE L24

REVISED Declaration of Covenants and Restrictions of the Fall Creek Place Development EXHIBIT 'A'

Address	Dir	Street Name	Parcel #	Legal Description
2232	N	PARK	1036924	BRUCE PLACE ADD 25FT N SIDE L23 & 13.9FT S SIDE L22
2320	N	PARK	1034554	J A & M BRUCES ADD L107
2328	N	PARK	1025976	J A & M BRUCES ADD L106
2334	N	PARK	1070422	J A & M BRUCES ADD L105
2340	N	PARK	1076707	J A & M BRUCES ADD L104
2344	N	PARK	1008885	J A & M BRUCES ADD L103
2350	N	PARK	1034802	J A & M BRUCES ADD L102
2356	N	PARK	1025883	SUTHERLANDS SUB J A & M BRUCES ADD L3
2360	N	PARK	1013416	SUTHERLANDS SUB J A & M BRUCES ADD L2
2366	N	PARK	1055802	SUTHERLANDS SUB J A & M BRUCES ADD L1
2401	N	PARK	1042590	J A & M BRUCES ADD L78
2402	N	PARK	1094001	J A & M BRUCES ADD L99
2407	N	PARK	1012587	J A & M BRUCES ADD 45FT S SIDE L79
2410	N	PARK	1004885	J A & M BRUCES ADD L98
2411	N	PARK	1012595	J A & M BRUCES ADD 10FT N SIDE L79 & 15FT S SIDE L80
2415	N	PARK	1012588	J A & M BRUCES ADD EX 15FT S SIDE L80
2416	N	PARK	1004883	J A & M BRUCES ADD L97
2422	N	PARK	1067371	J A & M BRUCES ADD L96
2423	N	PARK	1043159	J A & M BRUCES ADD L82
2431	N	PARK	1063191	JAMES & MARGARET BRUCE ADD L83
2462	N	PARK	1091555	J A & M BRUCES ADD L98
2463	N	PARK	1088602	J A & M BRUCES ADD L88
2501	N	PARK	1067721	WRIGHTS PARK AVE ADD 72FT W END L1 & 5FT S & ADJ
2521	N	PARK	1008900	WRIGHTS PARK AVE ADD L4
2540	N	PARK	1074331	WRIGHTS PARK AVE ADD L10B
2211	N	PENNSYLVANIA	1089836	MARTINDALES LINCOLN PK ADD 1ST SEC L30 B2
2215	N	PENNSYLVANIA	1043495	MARTINDALES LINCOLN PK ADD 1ST SEC L29 B2
2223	N	PENNSYLVANIA	1030968	MARTINDALES LINCOLN PK ADD 1ST SEC L27 B2
2259	N	PENNSYLVANIA	1022164	MARTINDALES LINCOLN PK ADD 1ST SEC L18 B2
2309	N	PENNSYLVANIA	1041595	MARTINDALES LINCOLN PK ADD 2ND SEC L30 B11
2313	N	PENNSYLVANIA	1004690	MARTINDALES LINCOLN PK ADD 2ND SEC L29 B11
2348	N	PENNSYLVANIA	1022790	MARTINDALES LINCOLN PK ADD 2ND SEC L12 B12
2352	N	PENNSYLVANIA	1019854	MARTINDALES LINCOLN PK ADD 2ND SEC L13 B12
2359	N	PENNSYLVANIA	1060729	MARTINDALES LINCOLN PK ADD 2ND SEC L18 B11
2403	N	PENNSYLVANIA	1028807	MARTINDALES LINCOLN PK ADD 3RD SEC L30 B14
2507	N	PENNSYLVANIA	1098449	DOUGLASS PARK ADD L9

REVISED Declaration of Covenants and Restrictions of the Fall Creek Place Development EXHIBIT 'A'

Address	Dir	Street Name	Parcel #	Legal Description
2511	N	PENNSYLVANIA	1030417	DOUGLASS PARK ADD L10
2531	N	PENNSYLVANIA	1013671	DOUGLASS PARK ADD N 1/2 L15
2533	N	PENNSYLVANIA	1028522	DOUGLASS PARK ADD L16
509		SUTHERLAND	1060373	WRIGHTS PARK AVE ADD 35FT E OF 47FT W END L25
515		SUTHERLAND	1066913	WRIGHTS PARK AVE ADD 35FT W OF 30FT E END L25
516		SUTHERLAND	1065780	HADLEYS SUB 33FT E END L3 & L4
519		SUTHERLAND	1063569	WRIGHTS PARK AVE ADD 30FT E END L25
2213	N	TALBOTT	1020289	MARTINDALES LINCOLN PK ADD 1ST SEC L29 B3
2217	N	TALBOTT	1041938	MARTINDALES LINCOLN PK ADD 1ST SEC L28 B3
2238	N	TALBOTT	1077781	MARTINDALES LINCON PK ADD 1ST SEC L10 B2
2245	N	TALBOTT	1042321	MARTINDALES LINCOLN PK ADD 1ST SEC L21 B3
2254	N	TALBOTT	1007791	MARTINDALES LINCOLN PK ADD 1ST SEC L14 B2
2262	N	TALBOTT	1051494	MARTINDALES LINCOLN PK ADD L16 B2
2309	N	TALBOTT	1037905	MARTINDALES LINCOLN PK ADD 2ND SEC L30 B10
2313	N	TALBOTT	1050905	MARTINDALES LINCOLN PK ADD 2ND SEC L29 B10
2317	N	TALBOTT	1066897	MARTINDALES LINCOLN PK ADD 2ND SEC L28 B10
2321	N	TALBOTT	1038205	MARTINDALES LINCOLN PK ADD 2ND SEC L27 B10
2322	N	TALBOTT	1038016	MARTINDALES LINCOLN PK ADD 2ND SEC L6 B11
2330	N	TALBOTT	1041118	MARTINDALES LINCOLN PK ADD 2ND SEC L8 B11
2334	N	TALBOTT	1068596	MARTINDALES LINCOLN PK ADD 2ND SEC L9 B11
2338	N	TALBOTT	1058528	MARTINDALES LINCOLN PK ADD 2ND SEC L10 B11
2341	N	TALBOTT	1020913	MARTINDALES LINCOLN PK ADD 2ND SEC L22 B10
2350	N	TALBOTT	1008355	MARTINDALES LINCOLN PK ADD 2ND SEC L13 B11
2364	N	TALBOTT	1033324	MARTINDALES LINCOLN PK ADD 2ND SEC L16 B11
2411	N	TALBOTT	1053525	MARTINDALES LINCOLN PK ADD 3RD SEC L28 B15
2455	N	TALBOTT	1009688	MARTINDALES LINCOLN PK ADD 3RD SEC L17 B15
2459	N	TALBOTT	1065052	MARTINDALES LINCOLN PK ADD 3RD SEC L16 B15

REVISED EXHIBIT 'B'

FALL CREEK PLACE



DESIGN GUIDELINES

Final Draft: August 27, 2001

Revised: August 27, 2003

Fall Creek Place and its agent, Mansur Real Estate Services, Inc. reserve the right to make any modifications to the Design Guidelines that is deems necessary without notice. All information provided is considered confidential and proprietary. Copying, distributing or divulging this information in whole or in part is prohibited without the express written consent of the owner or its agent.

9. Pedestrian Traffic. Maintain existing pedestrian sidewalk widths, locations, and relationships to streets. The existing network functions well within the context of the historic grid layout.
10. On-Street Parking. Existing on-street parking functions well along the urban streetscape and should remain in place along streets for the convenience of residents and visitors.

2 APPLICATION PROCEDURES

2.1 INTRODUCTION

The application procedure of the DRC is intended to provide qualitative reviews in a timely manner. Submittal requirements for specific development phases will be prescribed by the DRC and promulgated as addenda to these guidelines.

The application process consists generally of

1. An architectural review phase,
2. A landscape review phase,
3. A construction period site review phase.

In the interest of expediting construction activity, the DRC may combine or alter the above phases of the review process at its discretion. The DRC possesses the authority to pre-approve sets of home or building plans where appropriate for a project involving a limited number of building styles, elevations, materials, etc. An appeals process has also been established by the DRC. (See 2.7)

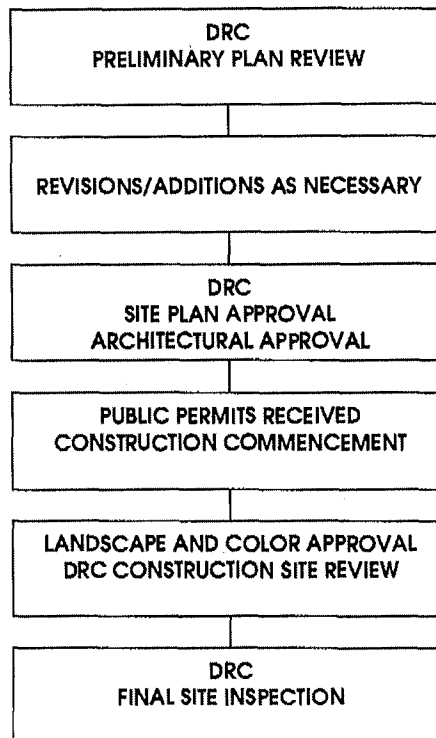
2.2 REVIEW PROCEDURES

In general, any physical improvement within Fall Creek Place that is visible from the street front of the residence will require approval of the DRC. Approval of plans by the DRC does not release the Applicant from compliance with local, state and federal permit processes. The DRC may approve the submittal outright, may provide conditional approval with a list of items to be addressed during later stages of design or construction and may request resubmittal with a list of specific items to be addressed.

2.3 SCHEDULE

Prior to preparation of a design submittal package, it is suggested that the Applicant, and/or his consultants, meet with a representative of the DRC to review and clarify these Design Guidelines, the characteristics of the particular building site, and technical issues related to review procedures. Five (5) complete sets of plans shall be submitted for review. One set shall be retained for the DRC's files and the remaining four sets shall be returned to the applicant. These four sets will be required by the applicable building permit agency. The Applicant should submit required design review information to the DRC at least

three (3) business days prior to the next scheduled DRC meeting. A schedule of these meeting dates will be made available.



The DRC will strive to take action on design review submittals within fourteen (14) business days upon submittal by each respective builder, but may take up to thirty (30) calendar days in accordance with the recorded documents of Fall Creek Place. If, in the opinion of the DRC, the submittal complies with the Design Guidelines, written approval shall be granted. If the submittal is found not to be in compliance with the Design Guidelines, the DRC shall provide the Applicant with a written description of the aspects in which the Submittal does not comply. The Applicant must then present required revisions to the DRC and follow the same review procedures. However, the DRC may issue a conditional approval in writing noting that certain aspects of the plans submitted will still require DRC review and approval.

2.4 DESIGN REVIEW FEES

The DRC reserves the right to establish and collect fees for the review of plans. Such fees, if any, will be posted through an addendum to these Design Guidelines.

2.5 SUBMITTAL REQUIREMENTS

Submission shall include the following information; however, the DRC will determine on a lot by lot basis if the actual submittal requirements should vary. Submissions should be made on 11" x 17" white paper. All drawings should be scalable, with scale clearly identified. **It should be noted that applicants will not be able to pull a building permit from the City of Indianapolis without a set of stamped plans from the Design Review Committee for any residential construction in Fall Creek Place.**

1. Site Development Plan indicating:

- Name of owner and owner's consultant(s), date of submittal, and lot designation
- Scale and north arrow
- Property boundaries and easements
- Location of existing structures or other improvements, if applicable
- Location, size, and type of all existing plant material, if applicable, including any existing vegetation which would be removed or altered.
- Location of trunks and outer edge of canopy on all trees in excess of four inch (4") caliper, if applicable
- Proposed building location(s) with related setbacks
- Driveway, walks, and parking layout with related setbacks
- Fence locations, heights, description and materials
- Exterior lighting types descriptions and locations, including yard lights
- Proposed utilities locations, if applicable

2. **Architectural Plans** including:

- Elevation Drawings, including all four (4) sides of building plus a front and side elevation of the garage. Elevations must specify all exterior materials used, including siding, roofing, foundation wall, decorative siding type, porch details, and trim type with dimensions where appropriate. Elevation plans should also call out window type, door type, roof pitch, depths of eaves, and floor to floor heights.
- Floor Plans, which shall include the square footage of finished living space for each floor, basements, and porches of the home on respective sheet.

3. **Landscape Plan.** Applicant shall submit the landscaping plan within two months of acquiring lot. Landscaping package should be completed within six months of acquiring lot. In the event of inclement season, landscaping should be completed no later than May 10 of the following year. The landscape plan should include:

- Location, size, and botanical name of all trees, shrubs, and ground covers to be added.
- Location of all annual and perennial flower bed areas.
- Delineation of seed/sod areas.
- Street trees and yard light required by developer.

4. **Color/Sample Board.** A sample board should be provided with indication of all exterior finish materials and colors. Color boards should include samples for all siding, decorative siding, brick type, foundation wall, trim details, porch details, and roof shingles.

2.6 **CONSTRUCTION PERIOD AND PROJECT REVIEW**

Any changes made during construction which deviate from the approved plans stamped by DRC should receive consent by DRC prior to completing. An ongoing periodic review of the construction of the Project will be undertaken by DRC staff representative(s) for the purpose of monitoring progress of the Project, and to ensure conformity with design plans previously approved by the DRC. Any deviations, which are significant, in the sole opinion of the DRC, will be brought to the Applicant's attention by written notification along with the measures that the DRC requires to mitigate or resolve the deviation.

2.7 APPEAL PROCEDURES

If the Applicant wishes to appeal any decision of the DRC, applicant may do so by first submitting a written appeal to the DRC. The DRC will provide the Applicant with reasonable notice and time of the meeting at which the Applicant's appeal will be reviewed. The Applicant will have the opportunity to attend this meeting and be heard prior to the DRC rendering a decision. Within seven (7) days after such meeting on the applicant's appeal, the DRC shall give notice in writing of its final decision to both the Applicant and the Fall Creek Place Homeowner's Association.

The Applicant may further appeal the decision of the DRC within seven (7) days following the date of notice of the DRC appeal decision as follows: The Applicant's appeal is made to the Fall Creek Place Homeowners Association Board of Directors. Reasonable notice will be given to the Applicant of the meeting at which the appeal will be reviewed. The Applicant will have an opportunity to be heard prior to the Board rendering a decision, provided applicant attends the scheduled meeting. The Board will review the Applicant's appeal at their next regularly scheduled meeting following the filing of the appeal. Failure of the Board to act within forty-five (45) calendar days from the date of filing will constitute approval. The Board will document in writing reasons for not granting an approval if that is the outcome of their review.

2.8 AMENDMENT PROCESS

These Design Guidelines may be updated and amended from time to time, through a unanimous agreement by the DRC. Upon such agreement, the DRC shall be responsible for creating a written addendum to the Design Guidelines, identifying changes made. All written addenda shall be numbered (i.e., Addendum 1, Addendum 2, etc.) and have a date identifying when such addenda was added. The DRC must present all addenda to the Fall Creek Place Homeowner's Association, and receive approval by the Fall Creek Place Homeowner's Association Board of Directors.

All addenda shall be added to the Design Guidelines and become incorporated into the Design Guidelines. The DRC will have the responsibility to record all addenda through the Marion County Recorder's Office, and all addenda shall not become enforceable until such recording is completed.

3 SITE LAYOUT AND LANDSCAPE GUIDELINES

3.1 SITE DESIGN AND SPACING

The DRC seeks to ensure that each residence works within the existing home sites in the best possible manner. Architecture, setbacks, and building orientation should complement the existing streetscape rhythm. The site plan concept developed for each home site should reflect functional needs but also be sensitive to the neighborhood's characteristics. The orientation and massing of houses will be viewed from many different angles along the streets within Fall Creek Place. The DRC shall consider each site independently but shall give extensive consideration to each individual plan's impact upon adjacent home sites and streetscape, massing, setbacks and the building heights.

Generally, front yard setbacks shall be between ten feet (10') and twenty-five feet (25') from the existing right-of-way. Side yard setbacks should have an aggregate minimum of ten feet (10'), with no side yard setback less than four feet (4'). Rear yard setbacks for garages shall be fifteen feet (15'), however, builders may seek a variance to allow for a smaller setback to provide greater rear yard space, providing rear setback is at least five feet (5') from alley.

Refer to the Builder's Guide for New Construction (Exhibit A) pages 5-7 for details and illustrations regarding appropriate setbacks, spacing, and building orientation.

3.2 BUILDING HEIGHTS AND PROPORTIONS

The basic outline and proportions of all new construction must be sensitive to the outlines of homes in the community. Roof shapes should create shapes or patterns consistent with the neighborhood context. Similarly, the basic proportions of window and door orientation should be compatible with the general architectural style of the building. Foundation heights must also be consistent with the overall context of the neighborhood, which generally means entrances shall be raised in a consistent manner.

Refer to the Builder's Guide for New Construction (Exhibit A) pages 8-11 for details and illustrations regarding appropriate building height, outline, fenestration, and foundation heights.

3.3 PARKING

On-street parking is allowed on the local neighborhood streets where designated and approved by governing review agencies having jurisdiction.

No curb cuts are permitted along the street front. All garages must be accessed from the rear alley. On corner lots, a garage may be accessible from the side street, providing such configuration meets local codes.

A garage is strongly recommended for all single family detached homes in Fall Creek Place. With the exception of corner lots, all garages would be detached garages accessible from the alley. The DRC shall consider exceptions on a case by case basis where a parking pad may be substituted in lieu of a garage to meet the criteria for affordable housing. Parking pads are also acceptable for all attached townhome units built in Fall Creek Place. The DRC shall have the rights to limit and restrict the location of all homes that will not have garages.

When a parking pad is substituted for a garage, the parking pad must be constructed with a turned down slab that would be able to accommodate a future garage should the owner opt to construct one in the future. Parking pads must also include parking bumpers and a minimum 36" high landscaped buffer surrounding three sides of the parking pad.

Garages must be constructed using a consistent design acceptable to the DRC. Garage construction will have more flexible standards than the primary dwelling unit, however, the design and appearance should be consistent with the home. Refer to Section 4.10 for specific detail about the physical design considerations for garages.

Garage and parking pad setbacks shall also be consistent with the overall setback lines in the neighborhood. Generally, this shall be a setback of fifteen feet (15') from the edge of the paved alley.

Temporary or permanent parking of any kind of motorized vehicle in the front, side and rear yards or on front porches is prohibited. Parking is restricted to pre-approved garages, parking pads, garage aprons, and on-street designated parking spaces.

3.4 DRIVEWAYS

Driveways for residential units should be concrete, although asphalt, exposed aggregate or other hard surface materials may be utilized with DRC approval prior to installation. In no event will gravel driveways be allowed. With the

exception of corner lots and the potential attached garages accessible from the side street, all driveways shall extend from the alley only.

3.5 WALKS

All houses shall install front walks from the front porch to the public walk at street. Walks shall be concrete, brick, or other hard surface approved by the DRC, and should run parallel to the north/south property line of the home unless DRC approves otherwise. All walks shall be a minimum width of three feet (3'). Walks in the rear yard are acceptable, but not required.

3.6 FENCING AND WALLS

All fencing and walls are subject to DRC approval prior to installation.

Special consideration should be given to the design, placement, impact and views of a wall or fence from neighboring home sites. Fencing should be considered as a design element to enclose and define courtyards and other private spaces, provide security, and relate building forms to the landscape.

Any fencing used in the front yard must be between thirty-six inches (36") to forty-two inches (42") in height. Front yard fencing must be open spaced pickets and may not be a privacy fence. For homes on a corner lot, the side yard facing the street shall be considered a primary façade, and as such, any fencing must adhere to the standards set for front yard fencing.

Privacy fencing may be used in the rear yard, but must be no greater than six feet (6') in height. If a privacy fence is utilized, it should stop at approximately the mid-point between the front and rear of the home.

It is recommended that any solid walls be constructed of the same materials found in the architecture of the residence.

No chain link or welded wire fencing will be permitted within the neighborhood community. No fence may be erected within landscape easements, utility, or other easements, abutting or adjacent to parks.

If an open spaced picket fence is to be installed along a landscape easement, it must be erected on the inside of the landscape easement as defined by the edge of the landscape or right-of-way easement that is farthest from the adjoining street and nearest the residence.

Refer to the Builder's Guide for New Construction (Exhibit A), page 12 for supplemental graphic details on fencing.

3.7 LANDSCAPING

A landscaping plan for each newly built home must be approved by the DRC. The predominant design theme for Fall Creek Place is that of traditional streetscape with strategically located trees along streets, alleys, and yards throughout the neighborhood community. A palette of hardy indigenous, hardwoods and naturalized plant material is preferred. Deciduous trees, rather than conifers, is the more dominant tree type. All unpaved areas should be landscaped with trees, shrubs, and ground cover plantings. Large areas of gravel, bark mulch, or bare soil are prohibited.

1. **Sodding and Seeding.** All front yards and side yards should be established through sodding. Future repairs and improvements can be made by seeding, providing no bare soil remains for a prolonged period of time. Rear yards are also preferred to be sodded, however, seeding is also acceptable as the minimum requirement. All front, rear, and side yards should be properly graded with a minimum of one inch (1") of topsoil and use of starter fertilizer when sodding and/or seeding.
2. **Front Yard Landscaping.** All front yards shall have the following minimum landscaping requirements:
 - 1 deciduous shade tree, minimum two and one half inch (2-1/2") caliper measured one foot (1) above grade ("Street Tree"). Street Tree shall be planted between three and five feet (3' to 5') from the front property line as defined by the edge of the public sidewalk, in an acceptable location to the DRC that aligns with street trees planted within the public right-of-way.
 - 1 flowering tree, minimum one inch (1") caliper measured one foot (1) above grade ("Front Yard Tree").
 - 8 foundation shrubs, minimum eighteen inch (18") (spread foundation plantings).

Ornamental, fruit, evergreen, and other deciduous trees may be planted elsewhere on the property, but shall not be planted between the sidewalk and the curb and do not constitute satisfaction of the minimum requirements of this section.

3. **Side Yard Landscaping.** Homes on a corner lot are required to also have a minimum of eight (8) foundation shrubs along the side yard.

which also serves as a primary façade. However, no deciduous shade trees or flowering trees are required along the side yard.

4. **Irrigation.** Where irrigation is installed, the use of innovative, water efficient irrigation systems is strongly encouraged and recommended. All irrigation systems are to be below ground, fully automated systems in compliance with all applicable building code requirements. All backflow control devices are to be located or screened so that they are not visible from the streets.

3.8 LIGHTING

All homes shall be required to have at least one (1) porch light mounted near the front door, and one (1) pole-mounted yard light. Yard lights shall be located no further than three feet (3') from the front yard property line and should be positioned adjacent to the walk connecting the front porch to the public sidewalk. Yard lights should also be equipped with a standard dusk to dawn light. Porch lights and yard lights should be black. All bulbs should be white or clear. No colored bulbs or lenses are permitted. Specifications for lighting are provided in Exhibit D.

A light is also required to be mounted to the garage facing the rear alley. The alley light should also be equipped with a standard dusk to dawn light.

3.9 MAILBOX AND ADDRESS MARKERS

All homes must have a standard black, wall-mounted mailbox. Mailbox should be mounted next to the entry door. Exhibit E provides a graphic illustration of the preferred mailbox.

Homes will be required to identify their street address on the front of their homes and on the garage facing the alley. Address identification on the front of the home can be provided with etching on a glass transom above the front door OR with a standard address marker plaque. However, the address identification must be visible from the street. Therefore, if the front door of the home is not facing the street, the address plaque must be added on the front façade so it is visible.

Exhibit F provides a graphic illustration of preferred address identification for the front of the home. Individual nail-on numbers are not an acceptable address plaque for the front of the home. However, individual numbers nailed to the garage are acceptable for identification on the garage.

3.10 SIGNAGE

All signage is subject to applicable local and state regulations and any permanent signs must be approved by the DRC prior to submission to such agencies. Notwithstanding any other requirements of this section, the Master Developer may install signs of a certain type and in certain locations as may be approved by the appropriate governmental agencies for identification, directional, or informational purposes.

Builders, Owners, and Applicants are permitted only one (1) temporary building sign to be erected per homesite. Special signage may be allowed on a temporary basis for special events, per the approval of the Design Review Committee.

All signage to be used for new housing construction must be consistent with approved builder sign shown in Exhibit C ("Lot Sign"). Lot Signs shall be flexible to allow Applicant to include information relating to contractors, realtors, or other parties as deemed appropriate. A portion of the Lot Sign shall be flexible to accommodate interchangeable decals. In addition, a flag extension on the bottom of the sign indicating "Sold," "For Sale," "Model" or other suitable wording is also permissible.

Contractors are responsible for maintenance of all signage within their site(s). Repairs should be made in a timely manner.

Owners shall be responsible for maintenance and ultimate removal of any temporary signs, including political signs and realtor signs.

No sign shall be located in such a way as to create a traffic or other hazard, obstruct any other sign, or restrict visibility for vehicular or pedestrian circulation or views of the surrounding buildings and environment.

Identification signage is not allowed within the right-of-way of a dedicated public street, nor any other areas not approved by the DRC.

Signs advertising goods or services, home occupation signs, special event signs, and portable signs will not be permitted unless approval is granted from the DRC.

3.11 MOUNTED EQUIPMENT

Items such as skylights, solar panels, vents, access ladders, condensers, electric and gas meters, etc., should be strategically located so they are not visible from the street if possible. All skylights should be flat, no bubble or curved glass will be allowed. Where mechanical or service equipment, satellite dishes, or other equipment is located on the roof, it shall be grouped into concentrated areas with attempts made to minimize view from the street. Efforts should be made to screen mechanical equipment when possible.

Metal flashing, flues and any other exposed roof top mechanical equipment should be non-reflective. All metal flues and other exposed rooftop equipment should be painted black and should be kept to the rear of the home to the fullest extent possible.

Electrical conduits which service the yard light should not be located in such a manner where they are visible on the front elevation. Furthermore, the conduit itself should be painted to match what it is up against, most likely the bandboard. All electrical outlets, dryer vents, and water spigots should be hidden so they are not visible from the street and should not be encased in plastic or other materials which differ from the siding.

4 RESIDENTIAL ARCHITECTURAL GUIDELINES

The architectural character of existing buildings, streetscape, and landscape establishes a frame of reference for Fall Creek Place. To create harmony between the existing urban fabric and new elements, new residential construction should be compatible with the existing architectural character. Compatible designs should not seek to imitate the historic architecture of existing homes, but reflect their surrounding in terms of scale, orientation, and materials.

It is desirable for the homes of the neighborhood community to exhibit the individuality of their owners, as well as, adhere to the guidelines for their selected architectural style. However, it is equally important that they observe basic design principles inherent in good architecture.

The Builder's Guide for New Construction (Exhibit A) presents a very comprehensive architectural guide for five different styles of new homes suitable for Fall Creek Place (see pages 16-40). This Guide should be referenced to understand the primary visual elements for each architectural type.

This section of the Design Guidelines presents some general design considerations that should be adhered to for new residential construction.

4.1 GENERAL DESIGN FEATURES

The main entrance should have a sense of prominence that is reflected in the design. The entry should be sheltered on the exterior under a porch structure and include a front door with no sidelights. A transom window above should be considered. Deep front porches which create outdoor living spaces are encouraged on the front elevation.

Consistency of detailing on all elevations should be maintained. Windows and doors should be consistent in the number of types, locations, styles, and sizes. All openings should be articulated with the use of wide window trim and flat projecting sill or surrounds.

Within a specific block, the DRC may determine that no two homes with similar elevations or mirrored elevations and colors are located within five (5) houses of each other from the street frontage. Adjacent home should possess significant differences in their design and colors.

4.2 ROOF

Roof forms should be well organized and demonstrate the same character on all sides of the residence. Roof pitch should reflect the architectural character of the home, and may be either gable, hipped, or a combination. Eave lines should align wherever possible. Eaves and rakes should be articulated by multiple fascia boards, cove and crown molds, or gutters. Eave overhang should be minimum sixteen inches (16") from exterior face of structural framing. Gutters and downspouts shall be used at all eave lines unless deemed inappropriate. Overhang of gable shall be a minimum of twelve inches (12").

4.3 FOUNDATIONS

Foundation wall should have minimum sixteen inch (16") exposure. Exposed foundation wall above grade shall be brick veneer, split-face block (rough side exposed), or stone. No house slabs on grade will be permitted. Homes constructed on slab must maintain minimum sixteen inch (16") exposure. Skirt boards should be installed to maintain these foundation exposures. Floor elevations should be adjusted to meet these minimum exposures.

4.4 FRONT AND SIDE PORCHES

Well-executed, prominent porches are preferred features. Porches are preferred to have a minimum depth of seven feet (7') to create outdoor living area. Front porches should have decorative railings and/or walls consistent with architecture of home. Attention to the porch details will be extremely important and a focus of the DRC. Porch floor decking material selection is contractor's choice. Pressure treated or unpainted pressure treated lumber will not be permitted. Stained porch materials are to be finished in a heavy body pigmented stain. Lattice porch foundations should be built with solid curtain wall blocking and lattice securely fastened to curtain wall. Generally, lattice foundations and the use of untreated pressure treated lumber is discouraged.

Downspouts should not be mounted along the front of any porch columns.

Front porch flooring shall be brick, concrete, or tongue and groove smooth wood only.

Front porch railings shall have pickets which butt into and terminate at the top and bottom rails. Pickets should not extend past or be face-mounted to the top and bottom rails.

4.5 WINDOWS

All windows must be double-hung in appearance (except transoms). Single hung windows with a lower operable sash and fixed, non-operable windows are acceptable provided they have a double hung appearance. No casement windows are allowed. Preferred window types include all wood, vinyl-clad wood, or aluminum-clad wood window. All-vinyl windows may be utilized, provided they have an acceptable profile. Window types should be called out on plans, and DRC may request examples of all-vinyl window type for approval. Under no circumstances will snap in grids or grids sandwiched between two panes of glass be allowed.

If all-vinyl windows are used, windows must have painted wood trim, consistent with the architectural style of the home.

Generally, window trim should have a header at a minimum width of five and one-half inches (5 1/2"), side trim with a minimum width of three and one-half inches (3 1/2"), and bottom trim with a minimum of one and one-half inches (1 1/2"). Using a 1" x 4" trim along the bottom in lieu of a sloped sill is an acceptable substitute. Trim detailing will be reviewed on a case by case basis, as the trim style and dimensions should reflect the style of the home.

Bay windows must be carried down to grade or express visual support of a cantilevered condition. When bay windows are stacked in a two-story condition, the blank panel between all facets should be articulated.

Window sizes must be of correct proportion, which typically means a 3'-0" x 5'-6" (or taller) first floor window and a 3'-0" x 5'-0" (or taller) upper floor window. Shorter windows are allowable on the first floor, but should be narrower to keep the correct proportion (such as a 2'-6" x 5'-0" window). Special exceptions to window sizes include kitchens, bathrooms, utility rooms, and closets. In addition, smaller fixed windows are allowed on non-primary facades if they are consistent with the architectural style of the home. All plans must call out window dimensions.

Glass block windows are acceptable on side elevations in limited quantities, provided they are closer to the rear of the home. More glass block would be acceptable on the rear elevation of the home.

No semi-circle or similar arched top windows shall be allowed to "float" or stand alone on any façade. Such windows would only be acceptable when combined with other windows and doors in a historically appropriate arrangement. Photographs showing historical precedence are encouraged with such a submittal.

Transoms windows over the front door are required, unless DRC provides a special exception. The top of the transom over the front door should align with the top of all first floor windows, or their respective transoms, on the front elevation of the home. Hardships or design exceptions can be made by DRC on a case-by-case basis.

4.6 EXTERIOR DOORS AND TRIM

Exterior doors should have deadbolts. Doors should be called out on all plans submitted to DRC. Front doors should maintain an architectural character consistent with the home design. Flush doors without lights will not be permitted. Decorative sidelights will not be permitted. Transoms with the address etched in glass above the front door are encouraged. Door trim should match exterior window trim treatment. Wood trim around doors is required when wood trim is used on windows.

All exterior doors shall be appropriate to the style of home. All front doors other than a standard six-panel steel door must be reviewed and approved by DRC. Photographs and/or product specification sheets are encouraged for submittal. Storm doors are acceptable provided that they are full-light doors with clear glass so the primary door is visible and all trim on the storm door is painted to match the home colors.

Sliding glass doors are not acceptable along a primary façade of the home.

4.7 SIDING AND DECORATIVE TRIM

Brick, wood, or cement-fiber are preferred exterior materials. Vinyl siding may be utilized, provided it is a smooth surface with no wood grain stamping or texture, and is a flat color, not shiny. Wood grain stamped vinyl siding will not be permitted. Examples of suitable vinyl siding include Wolverine, Royal Architectural, and CertainTeed Main Street. No dutch lap vinyl siding will be permitted, as all vinyl siding shall be either double-four or triple-three type. Vinyl siding with a brush-stroke finish in lieu of a wood grained texture is acceptable, but should be called out on plans submitted to the DRC. Contractors may submit alternative siding and materials for DRC consideration.

Generally, horizontal siding should have a maximum six-inch (6") reveal. Mixing of material types should be restricted to fishscale or shake decorative siding at second floor transition and in gables in conjunction with horizontal siding. Emphasis by the DRC will be placed on transitions between materials. Trim boards, corner and frieze boards should be built out with filler boards to allow

siding to be tuck behind trim board. Corner trim boards should be minimum of three and one-half inches (3 1/2") in width. Bandboards separating the first and second floor, and separating the first floor with the foundation wall are encouraged. Bandboards must be wood when wood trim is required on windows and doors. Bandboard width should be consistent with architectural character of the home, generally a minimum width of nine and one-quarter inches (9 1/4") is preferred. Siding latticework, spindles, brackets and other decorative trim is encouraged. Whenever present, emphasis on scale, size, and thickness of decorative trim will be scrutinized. Undersized, under-scale and inappropriate size decorative trim will not be approved. All trim must be smooth surface trim. No rough-saw trim will be accepted.

T-1-11 or similar product styles and types will not be approved. Limited use of board and batten will be reviewed on case by case basis but generally will be restricted to small accent areas.

4.8 BRICK

The use of brick is encouraged, but should be provided on all four sides of the home. Brick on only the front elevation (other than porches) or first floor levels only will not be permitted. In some instances, the use of brick along the front, wrapping to a logical termination point on the side elevations may be considered, and will be reviewed and approved on a case by case basis by the DRC. All masonry materials should have color and type identified on plans for approval by the DRC. Brick front porches are desirable and encouraged.

4.9 GARAGES

A detached garage is highly preferred for all single family detached homes. Garages are required on all corner lots. Corner lots may have attached garages with potential access from the side street. As discussed in Section 3.3, a parking pad may be substituted in lieu of a garage if the DRC determines that having a garage would restrict affordability for the homebuyer. The DRC will restrict the location of where homes can be located that do not have a garage.

In general, the following criteria apply for the construction of the garage:

1. Two-car garages should have a minimum 20'-0" x 20'-0" exterior dimension. A smaller one-car garage will also be acceptable, but DRC may restrict location of such homes.
2. Roof slope must be minimum 4:12 roof slope. Roof slope is preferred to match primary dwelling.
3. Gable or hip roofs are acceptable on garage.

4. Roof shingles must match those on primary dwelling.
5. Attic/roof should be vented by soffit vents and roof vents (ridge, attic, gable vents acceptable).
6. Aluminum gutters and downspouts must match those on primary dwelling.
7. Garage should have minimum eave overhang as required for roof venting. Same overhang depth and finish as primary dwelling is preferred.
8. Garage must be wood framed wall and roof construction. Minimum structural member spacing should be twenty-four inches (24") on center.
9. Garage should have minimum eight foot (8'-0") tall exterior walls.
10. Horizontal siding and trim must match those on primary dwelling. Decorative siding in gables is preferred, but not required.
11. Overhead and passage doors must be finished to match house.
12. Concrete or block foundation wall on footing should be minimum thirty inches (30") below grade.
13. An exposed foundation wall is preferred with split-face concrete block to match primary dwelling, but is not required.

4.10. BUMP-OUTS

Any bumpouts should extend to the foundation and should not "float" when they are deeper than sixteen inches (1'-4"), are significant features in the home, or are approximately eight feet (8') or wider. Fireplace and chimney bumpouts are reviewed on a case by case basis, the preference being to keep the fireplace bumpout to less than sixteen inches and/or locate the fireplace bumpout far enough back on the elevation so it is not as visible from the street.

4.11. CHIMNEYS

Any exterior chimneys which extend past the soffit of roof shall be brick or other approved masonry material. Wood or vinyl siding on such chimneys are not acceptable. However, chimneys or bumpouts for direct vent fireplaces that do not extend for more than one story may be of similar material to the base siding of the home.

4.12. SHUTTERS

Shutters will be permitted on homes only if they are appropriate to the architectural style of the home, and will be considered on a case by case basis by the DRC. Shutters must be wood, as vinyl or plastic shutters are not permitted.

4.13. ACCESSORY STRUCTURES

Accessory structures such as tool sheds and other storage sheds must be constructed in a manner to be permanently attached to the primary dwelling or garage and should not be visible from the street. Structure should have similar siding and trim details as primary dwelling and garage. Freestanding accessory structures will generally not be permitted.

APPENDIX A

DEFINITIONS

APPLICANT - The owner or owner's representative who is responsible for the development of property or parcels within Fall Creek Place.

DESIGN REVIEW COMMITTEE (DRC) - as defined in the Declaration of Covenants Conditions & Restrictions.

COMMUNITY DEVELOPMENT PLAN - The overall plan for Fall Creek Place as approved and as may be amended.

DECLARATION - The Documents of the Fall Creek Place Homeowners Association and Exhibits for Fall Creek Place recorded or to be recorded in the Marlon County Records Office.

DESIGN REVIEW - Process for evaluation of development plans to determine compliance with the Design Guidelines.

DESIGN GUIDELINES - Description of the planning areas shown on the Land Use Master Plan. The Development Guidelines establish density and land use for each planning area and represent the approved zoning.

DEVELOPER - Developer as identified in Declarations of Covenants, Conditions and Restrictions, Bylaws and Design Guidelines.

MODIFICATIONS COMMITTEE (MC) - as defined in these Design Guidelines and Fall Creek Homeowners Association documents.

FALL CREEK PLACE HOMEOWNERS ASSOCIATION - The association for owners of property in Fall Creek Place as defined in the Declaration of Covenants, Conditions & Restrictions.

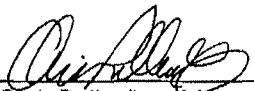
OPEN SPACE - Public or private land and aquatic areas which are managed to protect the natural environment; provide recreational opportunities; shape the pattern of development; or any combination thereof, including yards, common areas and elements, but excluding therefrom buildings.

PHASE AREA - Refers to the phases identified on a Phase Plan that periodically is updated by Master Developer.

APPENDIX B

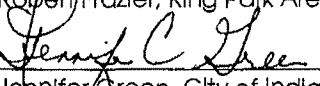
APPROVAL

DESIGN REVIEW COMMITTEE (DRC) OF THE
FALL CREEK PLACE HOMEOWNERS ASSOCIATION

By: 
Chris Palladino, Mansur Real Estate Services Inc.

By: 
Todd Rottmann, Rottmann Architects

By: 
Robert Frazier, King Park Area Development Corporation

By: 
Jennifer Green, City of Indianapolis, Member

By: 
Sean Murray, City of Indianapolis, Member

By: 
Todd Dorcas, City of Indianapolis, Member

By: 
Emily Elling, Resident, Member

Revised Exhibit 'C'

Common Areas indicated at the arrows



Fall Creek Place

